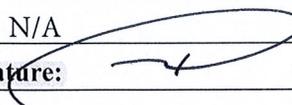


DEVELOPMENT PERMIT APPLICATION

The type of development permits for which this form is used and a fee schedule are listed on page 5. Application requirements and required separate attachments for each request type are on page 8. **Prior to the application submission contact the Planning and Zoning Division for an appointment at 954-630-4339.**

STAFF USE ONLY	
Date Submitted: <u>Feb. 1, 2016</u>	Application No. <u>CD16-03CU</u>
Project Name: <u>7-Eleven conditional use</u>	
Folio No(s):	

GENERAL DATA – Please type or print information - COMPLETE ALL SECTIONS	
Address of property: 3100 NW 9th Avenue	
Legal Description: (or attach description) <u>22-49-42 S 200 OF W 217.8 OF SW1/4 OF SW1/4 OF SW1/4 LESS ST & LESS W 50 FOR CO RD</u>	
Gross Acres: 0.53	Net Acres: 0.53
Title to this Property has been held since: 01/15/2013	Existing Zoning: B-1 Community Business
Existing Use of Property (include no. and sq. ft. of existing structure(s)): <u>Citgo Gas Station, 2,194 SF</u>	
Proposed Use of Property (include no. and sq. ft. of proposed structure(s)): <u>7-Eleven Gas Station, 2,210 SF</u>	
Section , Township, Range: 22, 49S, 42E	
Type of Development Permit(s) requested:	
Site Plan Review <u>conditional use</u>	

OWNER/APPLICANT INFORMATION		
(The undersigned has reviewed all instructions concerning the application and understands the application must be complete and accurate prior to staff review or Public Hearing(s). <u>Attach proof of ownership and owner's authorization for representative.</u>		
Name of Property Owners: <u>JSG 3100 LLC</u>	Title:	
Address: <u>1601 S Federal HWY</u>		
City: <u>Boynton Beach</u>	State: <u>Florida</u>	Zip Code: <u>33435</u>
Phone: <u>N/A</u>	Fax: <u>N/A</u>	
Signature: 	Signature: 	
Email Address: _____	Email Address: _____	
Name of Applicant's Representative: <u>Bill Pfeffer, P.E.</u>		
Address: <u>401 East Las Olas Blvd, Suite #1400</u>		
City: <u>Fort Lauderdale</u>	State: <u>Florida</u>	Zip Code: <u>33301</u>
Office Phone: <u>954-712-7482</u>	Cell Phone: <u>772-341-6223</u>	Fax: <u>N/A</u>
Email Address: <u>bpfeffer@bowmanconsulting.com</u>		

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Engineering & Community
Development Department
City of Oakland Park

Project Narrative and Conditional Use Criteria
Proposed 7-Eleven – 3100 NW 9th Avenue, Oakland Park, Florida

The Applicant, 7-Eleven Inc. (the “Applicant”), is seeking site plan and conditional use approval to open a new 7-Eleven convenience store (the “7-Eleven”) located at 3100 NW 9th Avenue, Oakland Park, Florida (the “Property”). The Property is located at the northeast corner of the Powerline Road and Oakland Park Boulevard intersection. The Applicant is under contract to purchase the Property from JSG 3100, LLC, and JSG 3100, LLC has authorized the submission of this conditional use application.

The Property currently contains a Citgo gas station with 10 fuel positions, a small convenience store and a full service automobile repair and oil change facility. The 7-Eleven will remove all automobile service facilities and bays, and will reduce the number of fueling positions down to eight. Additionally, the newly proposed 7-Eleven store will be approximately 2,200 square feet and provide a clean, friendly new shopping environment which meets the needs of convenience-oriented guests by supplying a broad selection of fresh, high-quality products and services at everyday fair prices. 7-Elevens are open seven days a week 24 hours a day.

The convenience store is a one story structure with architectural features including varying rooflines, horizontal banding and the use of split face block to create a stone textured façade. Two different paint colors create the horizontal banding, which breaks up the solid wall of the structure. Additional architectural features include bronze aluminum canopies and door frames, and 7-Eleven’s signature signage consisting of its trademarked tri-color stripe design. The mechanical equipment is completely screened from view on all sides by the building parapet.

The Project’s scale and mass is compatible with surrounding structures and uses and has been designed to ensure that neighboring uses are not adversely impacted. The Project will revitalize the corner of this important intersection of Oakland Park Boulevard and Powerline Road and will incorporate perimeter buffers and lush landscaping around the Property.

The Property is zoned Community Business District B-1, and has an underlying land use designation of Commercial. While retail convenience stores are permitted uses within the B-1 zoning district, a gasoline service station is subject to a conditional use approval. The Property is bounded on the east, west, north and south by commercially zoned property (B-1, B-2 and B-3), as it is located at the intersection of Powerline Road and Oakland Park Boulevard. Three of the four corners of this intersection contain full service gas stations. A Miami Subs restaurant is located on the fourth corner. The property to the north is zoned Powerline Road Zoning District, which permits mixed-use developments. The proposed 7-Eleven is consistent and compatible with the surrounding uses.

Conditional Use Criteria

The proposed use of a 7-Eleven convenience store and gas station satisfies the conditional use requirements and criteria pursuant to the City's Land Development Code (the "Code") Section 24-165(C), as follows:

1. The proposed use is essential to the proper functioning of a utility system or is specifically listed as a permitted conditional use in the district in which it is to be located.

The proposed use as a convenience store and gasoline service station is specifically listed in Code Section 24-37(B)(2)(e), as a permitted conditional use in the B-1 zoning district.

2. The use is deemed desirable for the public convenience or welfare, and the use is in harmony with the purpose and intent of this chapter and will not be detrimental or injurious to the surrounding area.

The proposed use of the Property, a new 7-Eleven convenience store and gas station, is a desirable use at this intersection of Oakland Park Boulevard and Powerline Road. The current use of the Property is a gas station with 10 fueling positions, oil change and automobile service facilities and a small convenience store. The proposed 7-Eleven will reduce the number of fueling positions to eight and completely remove the more intense automobile service features. The Applicant is redesigning the Property to make the use more convenient for the public by providing better access, functional circulation, and a more desirable, new convenience store with high quality products to be used by the entire community. The new design will improve the intersection and will be beneficial, not detrimental or injurious to the surrounding area.

3. When granting approval for conditional use, the board may attach conditions and safeguards, in addition to those prescribed in the district regulations, as they determine are necessary for the protection of the surrounding area and to preserve the spirit and intent of the ordinance.

The Applicant is redesigning the entire Property to provide safer access and circulation and removing the more intense automobile service facilities. The proposed 7-Eleven use will be compatible with the surrounding area and provide a convenient and clean neighborhood business for the public. The Applicant is also dedicating a significant amount of land on both Oakland Park Boulevard and Powerline Road to Broward County for right-of-way improvements.

4. The application also meets all of the following criteria, where appropriate:

a) Conformance with comprehensive plan.

The proposed 7-Eleven use conforms with the City's Comprehensive Plan and its goals, objectives and policies. Retail stores, such as this, are permitted within the Commercial land use category and the use will be beneficial as a convenience to the surrounding area while at the same time improving traffic, access and circulation, and infrastructure.

b) Harmony with adjacent uses (existing or zoned).

The Property is bounded on the east, west, north and south by commercially zoned property (B-1, B-2 and B-3), as it is located at the intersection of Powerline Road and Oakland Park Boulevard. Three of the four corners of this intersection contain full service gas stations. A Miami Subs restaurant is located on the fourth corner. The property to the north is zoned Powerline Road Zoning District, which permits mixed-use developments. Currently, the property to the north contains a coin-operated laundry facility. The property to the east is a three-story office building and the property to the northwest is a Denny's restaurant and a Lowe's home improvement store. The proposed 7-Eleven is consistent, compatible and in harmony with the adjacent uses (existing or zoned).

c) Facility levels of service maintained.

The new 7-Eleven use will actually reduce the current levels of service, due to the reduction of fueling positions and the removal of the automobile service facilities.

d) Use not hazardous to nearby housing, particularly traffic.

The use is not hazardous to nearby housing or traffic. The entire Property is being redesigned to provide safer access and circulation and to remove the more intense automobile service facilities. The proposed 7-Eleven will be compatible with the surrounding area and provide a convenient and clean neighborhood business for the public. The current use has ten fueling positions, where the proposed use will only have eight. The Applicant is also dedicating a significant amount of land on both Oakland Park Boulevard and Powerline Road to Broward County for right-of-way improvements.

e) The architectural and site design are compatible with the character of the surrounding area.

The architectural and site design of the 7-Eleven is compatible with the character of the surrounding area. The use, height, scale, mass and architectural design of the proposed 7-Eleven is consistent with the gas stations and commercial restaurant on the other three corners of the intersection, as well as the three-story office building to the east and the coin operated laundry, Denny's and Lowe's home improvement store to the north. Its one-story design, landscape buffers and screened mechanical equipment, makes it compatible with all of its neighbors.

The convenience store uses split face block to create a stone textured façade. Two different paint colors are used to create banding, which breaks up the solid wall of the structure. The building's architectural elements and features include roof height variations, bronze aluminum canopies and door frames, and 7-Eleven's signature signage consisting of its trademarked tri-color stripe design.

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Engineering & Community
Development Department
City of Oakland Park

RICK SCOTT
GOVERNOR



Florida Department of Transportation

3400 West Commercial Blvd.
Fort Lauderdale, FL 33309

JIM BOXOLD
SECRETARY

September 3, 2015

THIS PRE-APPLICATION LETTER IS VALID UNTIL – **SEPTEMBER 3, 2016**
THIS LETTER IS NOT A PERMIT APPROVAL

Bill Pfeffer
Bowman Consulting
401 E. Las Olas Boulevard
Fort Lauderdale, Florida 33301

Dear Mr. Pfeffer:

RE: **September 3, 2015** - Pre-application Meeting for **Safety Upgrade Driveway**
Broward County - City of Oakland Park, (Urban) SR 816 & 845 Sec. # 86090 & 86065; MP – 6.37 & 2.05
Access Class - 05 Posted Speed - 35 & 45mph SIS - N Ref project: 429569.1

Request:

Driveway 1: Right-in/right-out driveway on SR 845/Powerline Rd. located 115' feet north of SR 816/W Oakland Park Blvd.
Driveway 2: Right-in/right-out driveway on SR 816/W Oakland Park Blvd located 130' feet east of SR 845/Powerline Rd.

SITE SPECIFIC INFORMATION

Project Name & Address: **7-Eleven – 3100 NW 9th Avenue, Oakland Park, Florida**
Applicant: Bowman Consulting – Civil Engineering Consultant Property Owner: JSG 3100 LLC
Parcel Size: **0.52 Acres** Max. Sq.ft: 8 Fueling Positions 2,500 sf Proposed LU: **Gas Station with Convenience Store**

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the **conditions** and **comments** below.. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions: - **A minimum driveway length of 15 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided.**
- **ROW dedication shall be compliant with the expanded intersection criteria (60 feet on SR 845/Powerline Rd. and 72 feet on SR 816/W Oakland Park Blvd.).**

Comments: - **None.**

- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements,
- All driveways not approved in this letter must be fully removed and the area restored.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://gis.dot.state.fl.us/OneStopPermitting>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Geysa Sosa, P.E. at the District Permits Office with any questions regarding permits – Tel. # 954-777-4377, Fax # 954-677-7893 or e-mail: geysa.sosa@dot.state.fl.us.

Sincerely,

Dalila Fernandez, P.E.
District Traffic Access Manager

GSInyh

cc: Roger Lemieux

File: s:\Permits\Pre-app Letters\Broward County\Bowman Consulting – Civil Engineering Consultant – SR 816 & 845

www.dot.state.fl.us

Trip Generation Comparison									
7-11 Oakland Park Blvd. @ Powerline Rd.									
	Size	ITE LUC	Rate		Pass-By Rate	Traffic			
			Daily (vpd)	PM (vph)		Daily	PM		
Existing	10 12	945 945	162.78 162.78	13.51 13.51	59.0% 59.0%	667 801	55 66		
Proposed	2,210	853	845.60	50.92	64.5%	663	40		
Difference								-4 -137	-15 -27

Note: vfp = vehicle fueling positions

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Development Department
City of Oakland Park

Tinter Traffic, LLC

Project Name: 7- Eleven Oakland Park

Application No.: CD-16-03CU

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**CITY OF OAKLAND PARK
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR A CONCURRENCY REVIEW**

Engineering & Community
Development Department
City of Oakland Park

SERVICE DEMAND ANALYSIS

In order to ensure compliance (consistency and concurrency) with the requirements of the Comprehensive Plan, a development permit shall not be approved unless there is sufficient available design capacity to sustain the required levels of service as established in the City of Oakland Park Comprehensive Plan. In addition to all other requirements, all requests or applications for development permits, unless exempt, must be reviewed for impact on the following public services. REFER TO ATTACHED TABLES.

(Complete the following:)

<u>SERVICE DEMANDS BY TYPE</u>	<u>CURRENT USE</u>	<u>PROPOSED USE</u>
1. Potable Water - Consumption	<u>1,080</u> gpd	<u>864</u> gpd
2. Potable Water - Fire Flow Contact Fire Marshal at 561-6113 & see attached)	<u>1,500</u> gpm	<u>1,500</u> gpm
3. Sanitary Sewer	<u>900</u> gpd	<u>720</u> gpd
4. Solid Waste	<u>110</u> lbs	<u>110</u> lbs
5. Traffic - Broward County TRIPS Table, or Traffic Study (applicant attach)	<u>-</u> trips <u>801</u> trips	<u>-</u> trips <u>663</u> trips
6. Drainage - 1st Floor Elevation (per Article X of Chapter 24)	<u>7.53</u> feet	<u>7.60</u> feet
Roadway Crown above mean sea level	<u>+/- 7.0</u> feet	<u>+/- 7.0</u> feet
7. Recreation at 3 acres per 1,000 population	<u>N/A</u> acres	<u>N/A</u> acres
8. School Sites and Facilities (see attached application)	*The City cannot approve a development permit that generates one (1) or more students or is not exempt or vested from the requirements of public school concurrency, until the School Board has reported that the school concurrency requirement has been satisfied.	

(Complete 7. Above for residential development only)

ADDITIONAL INFORMATION:

A BUILDING PERMIT APPLICATION MUST BE SUBMITTED WITHIN 18 MONTHS OF SITE PLAN APPROVAL TO PRESERVE ANY APPROVED CONCURRENCY RESERVATION.



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Lobbyist Portal

Name	Knapik, Heidi
Company	Gunster Yoakley & Stewart
Phone	954-468-1391
Address	450 East Las Olas Boulevard Suite 1400 Fort Lauderdale, FL 33301
Email	hdavis@gunster.com
Created	01/05/2016

Listed Clients

- 7-Eleven, Inc.

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Engineering & Community
Development Department
City of Oakland Park

FEB 01 2016

Engineering & Community
Development Department
City of Oakland Park

LETTER OF AUTHORIZATION

Date: 1/26/2016

RE: Proposed – 7-Eleven
3100 NW 9th Ave
Oakland Park, Florida, 33309

TO WHOM IT MAY CONCERN:

Please be advised by this correspondence that Gunster, Creighton Development, and Bowman Consulting are authorized to act as Agent/Applicant on behalf of 7-Eleven, Inc for the purpose of making application submittals for permits and negotiating conditions for the above referenced project.



Signature

7-Eleven, Inc
1722 Routh St, Suite 1000
Dallas TX, 75201

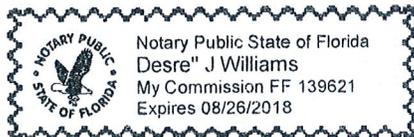
STATE OF FLORIDA

COUNTY OF ORANGE

Sworn to and subscribed before me, the undersigned Notary Public, this 28th day of JANUARY, 2016.



Notary Public



DESRE J. WILLIAMS
Printed Name

CONSTRUCTION PLANS

FOR

7-ELEVEN

3100 NW 9TH AVENUE (S.R. 816)
OAKLAND PARK, FLORIDA 33309

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Engineering & Community
Development Department
City of Oakland Park

Bowman
CONSULTING

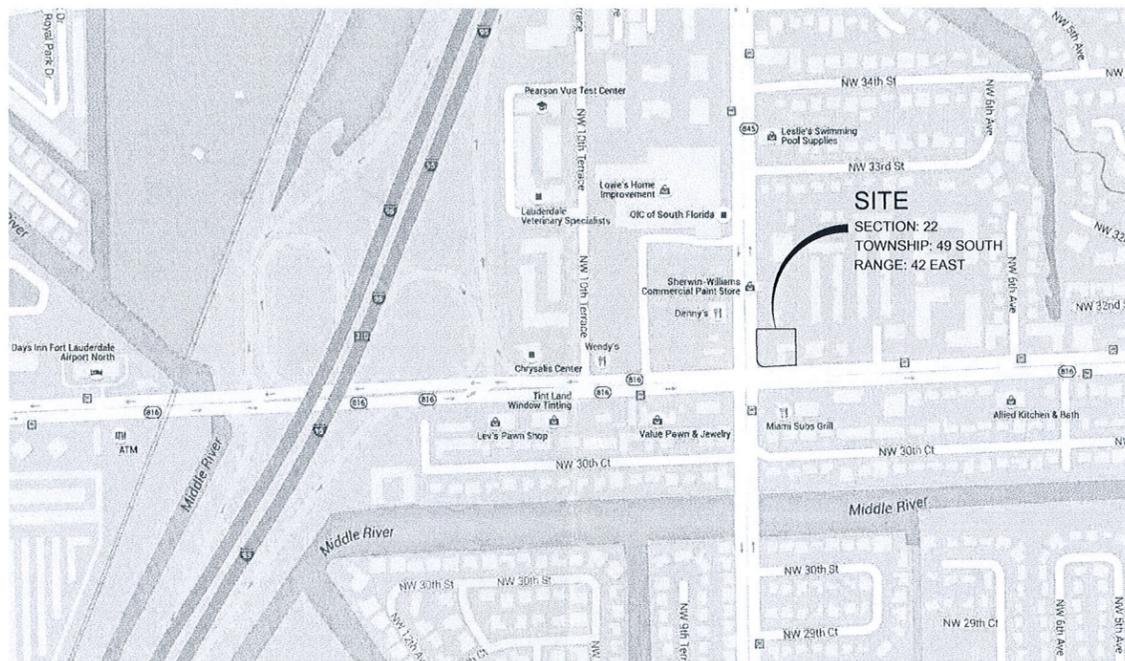
Certificate of Authorization License No. 30462

UTILITY SERVICE PROVIDERS

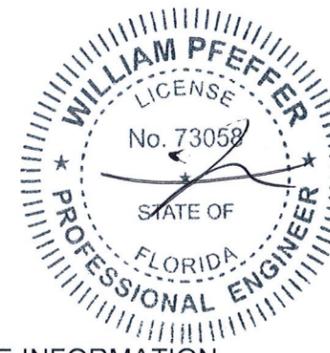
Water City of Oakland Park 5399 N Dixie Highway Oakland Park, FL 33334 (954) 630-4341	Phone AT&T 6451 N Federal Highway, Suite 102 Ft. Lauderdale, FL 33308 (954) 491-1709
Sewer City of Oakland Park 5399 N Dixie Highway Oakland Park, FL 33334 (954) 630-4341	Fire Protection City of Oakland Park 5399 N Dixie Highway Oakland Park, FL 33334 (954) 630-4552
Electric Florida Power and Light 7201 Cypress Road Plantation, FL 33317 (800) 375-2434	Solid Waste Disposal Waste Management, Inc. 3831 NW 21st Avenue Pompano Beach, FL 33073 (954) 974-7500

LEGAL DESCRIPTION

THE SOUTH 200 FEET OF THE WEST 217 & FEET OF THE S.W. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 49 SOUTH, RANGE 42 EAST, LESS THE WEST 50 FEET AND THE SOUTH 50 FEET DEDICATED FOR PUBLIC ROAD RIGHT-OF-WAY, AND LESS THAT PART OF THE ABOVE DESCRIBED LANDS WHICH IS INCLUDED IN THE INTERNAL AREA FORMED BY A 25 FOOT RADIUS ARC, WHICH IS TANGENT TO A LINE 50 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID SECTION 22, AND TANGENT TO A LINE 50 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 22, CONTAINING 145 SQUARE FEET, MORE OR LESS, DEDICATED FOR PUBLIC ROAD RIGHT'S OF WAY, LYING AND BEING IN BROWARD COUNTY, FLORIDA.



LOCATION MAP
N.T.S.



SITE INFORMATION

Project Area: ±10.57 Acres
Parcel Folio No.: 4942-22-00-0350
Parcel Address: 3110 NW 9th Avenue, Oakland Park, FL 33309
Current Zoning: B-1 Community Business
Proposed Use: Gas Station / Convenience Store

SHEET INDEX:

- 01 TITLE SHEET
- 06 SITE PLAN
- 09 PAVING, DRAINAGE AND GRADING PLAN
- 12 UTILITY PLAN

OWNER INFORMATION

OWNER: JSG 3100 LLC
ADDRESS: 1601 S FEDERAL HIGHWAY
BOYNTON BEACH, FL 33435
PHONE: N/A

CONTRACT PURCHASER: CREIGHTON DEVELOPMENT
CONTACT: CHARLEY CARPENTER
ADDRESS: 900 SW PINE ISLAND ROAD, SUITE 202
CAPE CORAL, FL 33991
PHONE: (293) 284-7954

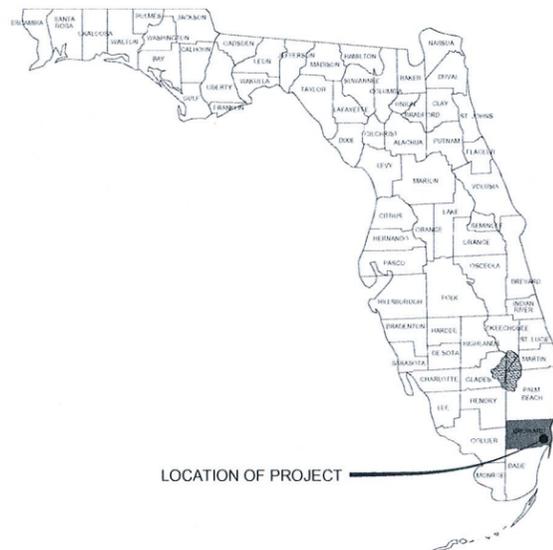


Bowman
CONSULTING

Certificate of Authorization License No. 30462

401 E. Las Olas Blvd.,
Suite 1400
Ft. Lauderdale, FL 33301
Phone: (954) 712-7482

www.bowmanconsulting.com
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LOCATION OF PROJECT

Bowman Consulting Group, Ltd.
401 E. Las Olas Blvd.,
Suite 1400
Ft. Lauderdale, FL 33301
Phone: (954) 712-7482
www.bowmanconsulting.com
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TITLE SHEET
7-ELEVEN
3100 NW 9TH AVENUE (S.R. 816)

BROWARD COUNTY, FLORIDA
CITY OF OAKLAND PARK



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
1/28/2016

PLAN STATUS

DATE	DESCRIPTION
JT	JMC
DESIGN	DRAWN
	BP
	CHKD

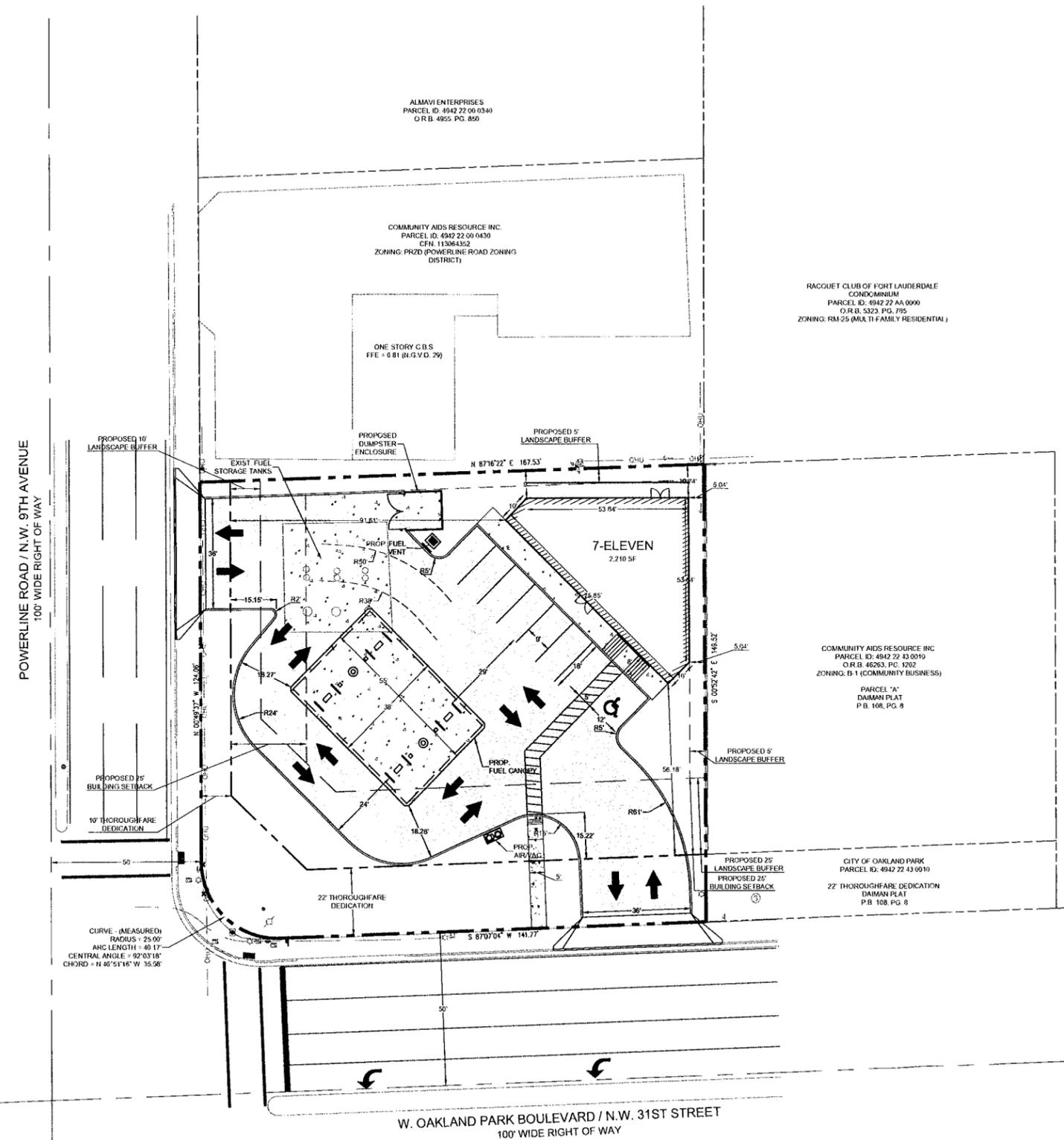
SCALE AS SHOWN

JOB No. 010063-02-038

DATE 01/29/2016

FILE 010063-02-001-cov.dwg

SHEET 01



LEGEND

EXISTING	SIGN	PROPERTY LINE	TYPE 'D' CURB & GUTTER
+	ELECTRIC HAND HOLE	---	PARKING COUNT
⊕	WOOD POWER POLE	---	GRATE INLET
⊗	CONCRETE POWER POLE	---	BUILDING SETBACK
⊙	LIGHT POLE	---	DRAINAGE STRUCTURE LABEL
⊘	GUY ANCHOR	---	ASPHALT PAVEMENT
⊚	MONITOR WELL	---	HEAVY DUTY CONCRETE PAVEMENT
⊛	GREASE TRAP MANHOLE	---	CONCRETE SIDEWALK
⊜	SANITARY MANHOLE	---	ELECTRIC TRANSFORMER W/ BOLLARDS
⊝	STORM INLET	---	SITE LIGHTING
⊞	STORM MANHOLE	---	
⊟	BACK FLOW PREVENTER	---	
⊠	WATER VALVE	---	
⊡	WATER METER	---	
⊢	FIRE HYDRANT	---	
⊣	TRAFFIC SIGNAL HAND HOLE	---	
⊤	TRAFFIC LIGHT POLE	---	
⊥	PEDESTRIAN SIGNAL POLE	---	
⊦	BOLLARD	---	
⊧	PALM TREE	---	
⊨	OVERHEAD UTILITIES	---	

- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURBING SHALL BE PER THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 300.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION AND DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL REFER TO SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
 - ALL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT. ALL SIGNS SHALL BE INSTALLED AND MOUNTED PER FDOT STANDARD INDEX 1160.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS REQUIRED. THIS INCLUDES BOTH VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 813, 816, AND 860.
 - ALL CURB RAMP SHALL HAVE DETECTABLE WARNINGS PER FDOT STANDARD INDEX 304.
 - ALL ADA STRIPING AND SIGNAGE SHALL BE PER FDOT STANDARD INDEX 17346 AND 17355.
 - ALL UNPAVED DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SOODED.
 - ALL PLANS SUBMITTED FOR PERMITTING SHALL MEET THE COUNTY'S CODES AND THE APPLICABLE BUILDING CODES IN EFFECT AT THE TIME OF PERMIT APPLICATION.

BUILDING SETBACKS

SETBACKS	REQUIRED	PROVIDED
FRONT	25'	25'
STREET SIDE	25'	25'
INTERIOR SIDE	0'	5.04'
REAR	0'	5.04'

SITE CALCULATIONS

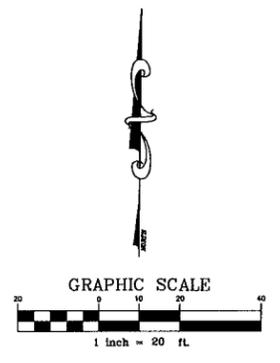
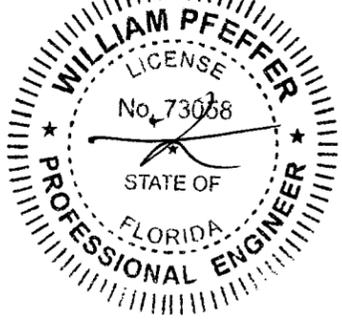
AREA	SF	ACRES	%
TOTAL SITE AREA	21,949 SF	(0.57 A.C.)	
DEVELOPMENT AREA	19,805 SF	(0.45 A.C.)	
THOROUGHFARE DEDICATION	5,135 SF	(0.12 A.C.)	
TOTAL DEVELOPMENT AREA	19,805 SF	(0.45 A.C.)	(100%)
OPEN SPACE AREA	4,301 SF	(0.10 A.C.)	(22%)
PAVEMENT / CURB	11,346 SF	(0.26 A.C.)	(58%)
BUILDING	2,210 SF	(0.05 A.C.)	(11%)
CANOPY	1,908 SF	(0.04 A.C.)	(9%)

SITE SUMMARY

ZONING	B-1 COMMUNITY BUSINESS	
USE	COMMERCIAL	
TYPE OF CONSTRUCTION	CONVENIENCE STORE W/ FUEL	
FLOOD ZONE	100 YEAR FLOOD PLAN	
WATER/WASTEWATER	CITY OF OAKLAND PARK PUBLIC WORKS	
ZONING INFORMATION	REQUIRED	PROVIDED
LOT		
MINIMUM LOT WIDTH	175'	283.25'
PROJECT AREA	17,500 SF (0.40 AC)	60,258 SF (1.38 AC)
IMPERVIOUS AREA	NONE	41,908 SF (70%)
PERVIOUS AREA	25%	16,346 SF (30%)
BUILDING		
SIZE	NONE	3,010 SF
HEIGHT	15'-0" (Max)	30'-0" ± 1-story
FLOOR AREA RATIO	NONE	
PARKING		
STALL SIZE	9'-0" x 18'-0"	9'-0" x 18'-0"
SPACES	21	23
HANDICAP SPACES	2	1
STRUCTURE	LENGTH	WIDTH
BUILDING	75.55'	53.84'
CANOPY	55'	38'

PARKING CALCULATIONS

USE	AREA	RATIO	REQUIRED SPACES
BUILDING AREA	3,010 SF	1 / 300 SF	21
FUEL ISLANDS	8 ISL	1 / FUEL ISL	8
TOTAL ADA PARKING			1
TOTAL PARKING REQUIRED			27
TOTAL PARKING PROVIDED			23



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Suite 1400
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SITE PLAN
7-ELEVEN

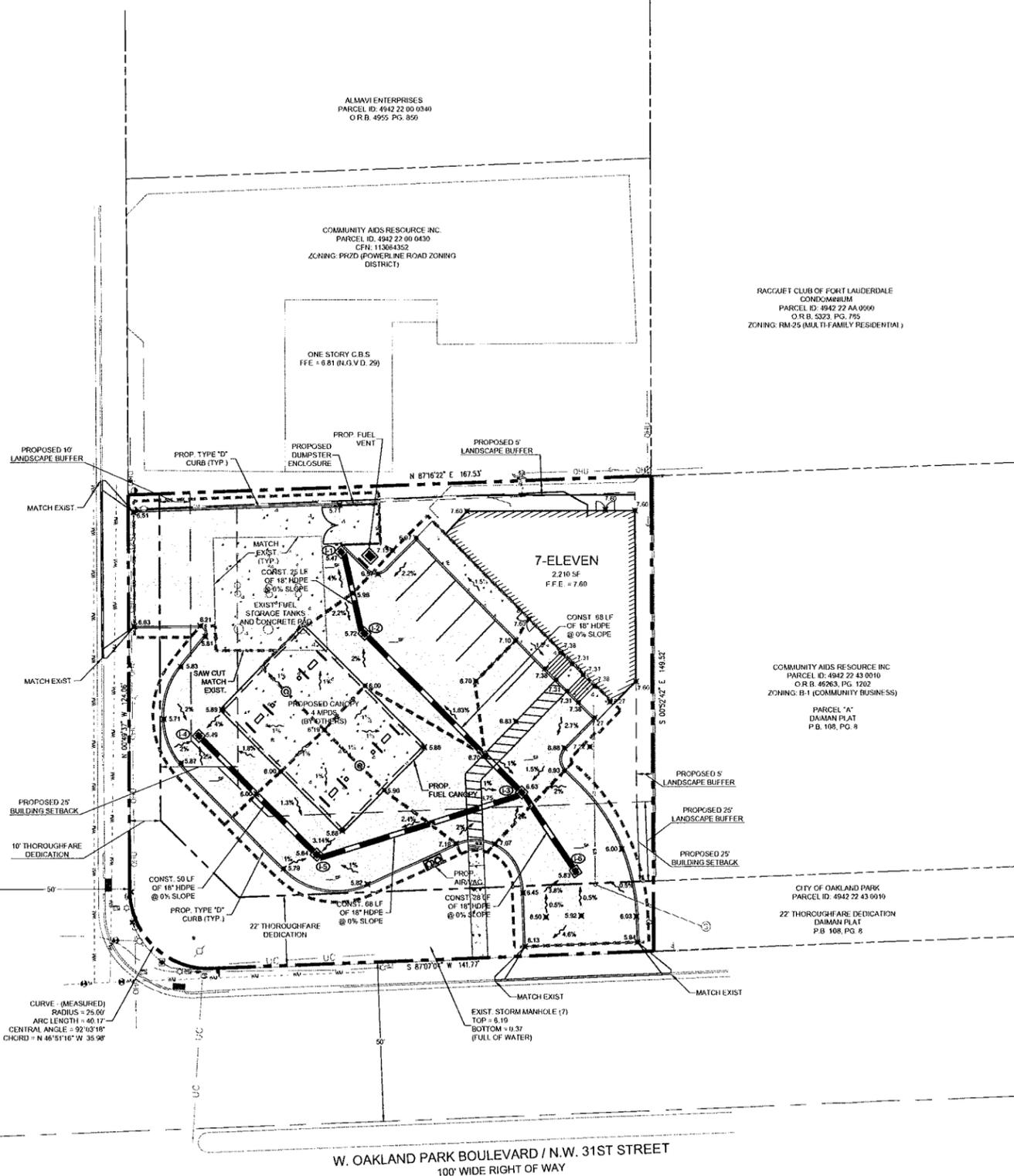
3100 NW 9TH AVENUE (S.R. 816)
CITY OF OAKLAND PARK
BROWARD COUNTY, FLORIDA



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
1/28/2016
PLAN STATUS

DATE	DESCRIPTION
JT DESIGN	JMC DRAWN
	BP CHKO
SCALE	1" = 20'
JOB No.	010063-02-038
DATE	01/29/2016
FILE	010063-dcp-001-sit.dwg

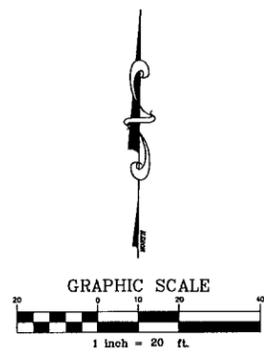
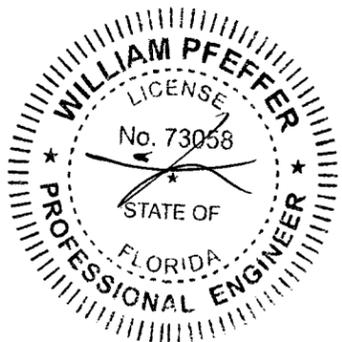
POWERLINE ROAD / N.W. 9TH AVENUE
100' WIDE RIGHT OF WAY



LEGEND

- | | | |
|----------|----------------------------|----------------------------------|
| EXISTING | SIGN | PROPERTY LINE |
| ○ | ELECTRIC HAND HOLE | TYPE "T" CURB & GUTTER |
| □ | WOOD POWER POLE | DRAINAGE STRUCTURE LABEL |
| □ | CONCRETE POWER POLE | GRATE INLET |
| ○ | LIGHT POLE | BUILDING SETBACK |
| ○ | GUY ANCHOR | ELECTRIC TRANSFORMER W/ BOLLARDS |
| ○ | MONITOR WELL | STORM SEWER |
| ○ | GREASE TRAP MANHOLE | DRAINAGE ARROW |
| ○ | SANITARY MANHOLE | WATERLINE |
| ○ | STORM INLET | SANITARY SEWER LINE |
| ○ | STORM MANHOLE | UNDERGROUND TELEPHONE |
| ○ | BACK FLOW PREVENTER | GRATE INLET |
| ○ | WATER VALVE | SANITARY CLEAN-OUT |
| ○ | WATER METER | HEAVY DUTY CONCRETE PAVEMENT |
| ○ | FIRE HYDRANT | CONCRETE SIDEWALK |
| ○ | TRAFFIC SIGNAL HAND HOLE | SITE LIGHTING |
| ○ | TRAFFIC LIGHT POLE | |
| ○ | PEDESTRIAN SIGNAL POLE | |
| ○ | BOLLARD | |
| ○ | PALM TREE | |
| ○ | OVERHEAD UTILITIES | |
| ○ | UNDERGROUND COMMUNICATIONS | |
| ○ | UNDERGROUND ELECTRIC | |
| ○ | WATER LINE | |

DRAINAGE STRUCTURE TABLE							
STRUCTURE NUMBER	STRUCTURE TYPE	RIM	NE INVERT	NW INVERT	SE INVERT	SW INVERT	REMARKS
I-1	TYPE "C"	5.47					SEE DETAIL SHEET 10
I-2	TYPE "C"	5.72					SEE DETAIL SHEET 10
I-3	TYPE "C"	6.63					SEE DETAIL SHEET 10
I-4	TYPE "C"	5.49					SEE DETAIL SHEET 10
I-5	TYPE "C"	5.64					SEE DETAIL SHEET 10
I-6	TYPE "C"	5.83					SEE DETAIL SHEET 10



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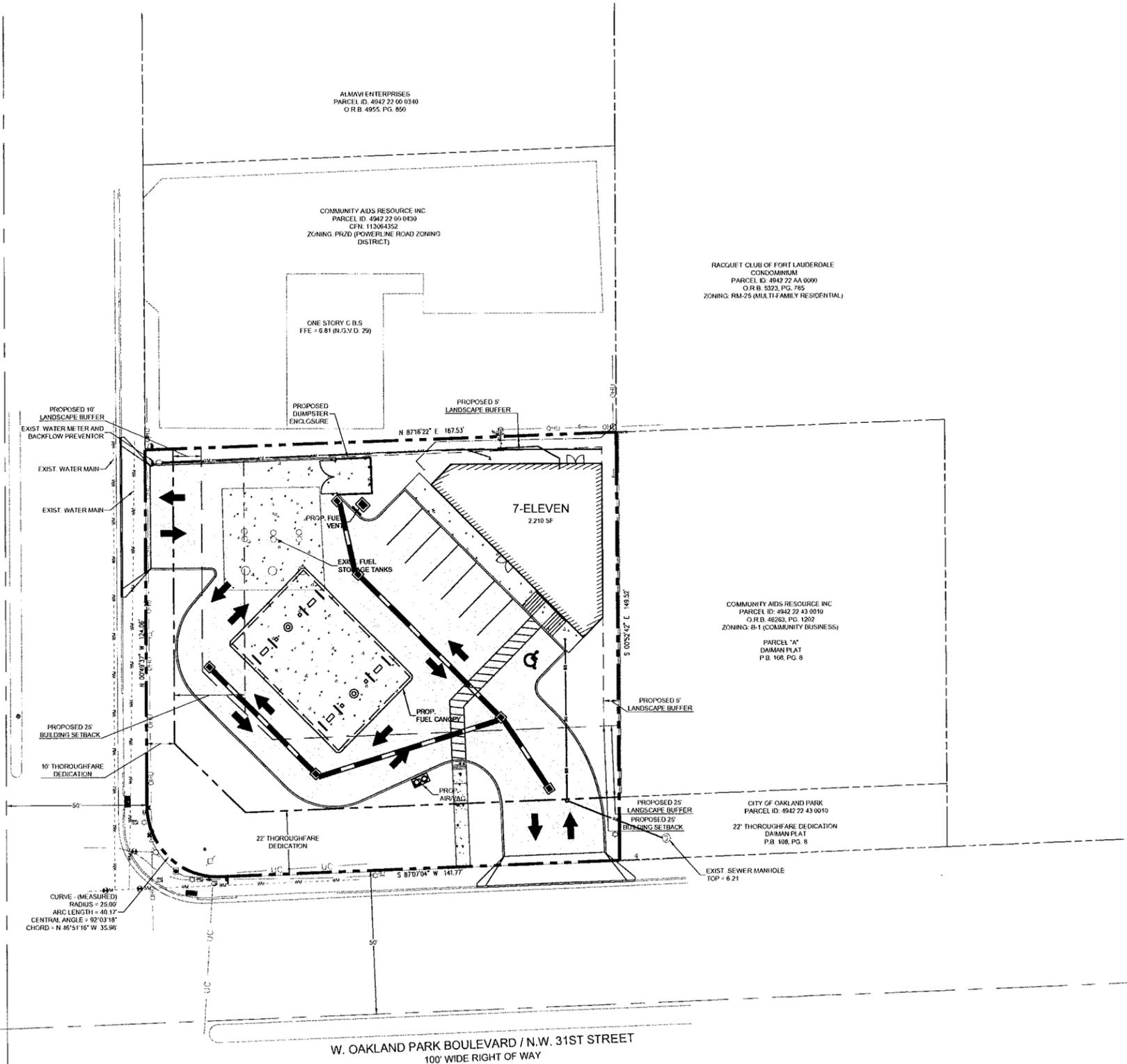
PAVING, DRAINAGE AND GRADING PLAN
7-ELEVEN
3100 NW 9TH AVENUE (S.R. 816)
CITY OF OAKLAND PARK, FLORIDA



WILLIAM PFEFFER, P.E. LICENSE NO. 73058 1/28/2016	
PLAN STATUS	
DATE	DESCRIPTION
JT	JMC
DESIGN	DRAWN
	BP
	CHKD
SCALE:	1" = 20'
JOB No.	010063-02-038
DATE	01/29/2016
FILE	010063-d-cp-001-pgd.dwg
SHEET	09



POWERLINE ROAD / N.W. 9TH AVENUE
100' WIDE RIGHT OF WAY



LEGEND

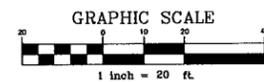
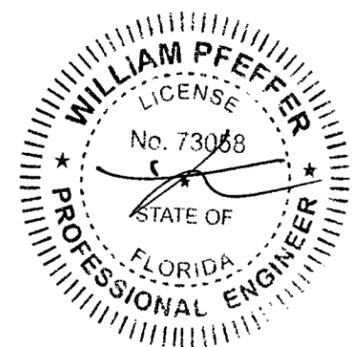
EXISTING	SIGN	PROPERTY LINE
⊕	ELECTRIC HAND HOLE	CURBING
⊕	WOOD POWER POLE	STORM SEWER
⊕	CONCRETE POWER POLE	WATERLINE
⊕	LIGHT POLE	SS SANITARY SEWER LINE
⊕	GUY ANCHOR	T UNDERGROUND TELEPHONE
⊕	MONITOR WELL	C UNDERGROUND CABLE
⊕	GREASE TRAP MANHOLE	GRATE INLET
⊕	SANITARY MANHOLE	CLEAN OUT
⊕	STORM INLET	HEAVY DUTY CONCRETE PAVEMENT
⊕	STORM MANHOLE	CONCRETE SIDEWALK
⊕	BACK FLOW PREVENTER	SITE LIGHTING
⊕	WATER VALVE	
⊕	WATER METER	
⊕	FIRE HYDRANT	
⊕	TRAFFIC SIGNAL HAND HOLE	
⊕	TRAFFIC LIGHT POLE	
⊕	PEDESTRIAN SIGNAL POLE	
⊕	BOLLARD	
⊕	PALM TREE	
— CHU —	OVERHEAD UTILITIES	
— UC —	UNDERGROUND COMMUNICATIONS	
— UE —	UNDERGROUND ELECTRIC	
— WL —	WATER LINE	

GENERAL UTILITY NOTES

1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION.
3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
5. ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
7. THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND DEPTHS OF UTILITY LINES. THE CITY OF BROWARD BEACH UTILITY DISTRICT ASSUMES NO RESPONSIBILITY FOR ANY POTENTIAL CONFLICTS.
8. ANY WATER AND/OR SEWER CONNECTIONS MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS NOTICE FOR CONNECTIONS.

FIRE SERVICE NOTES

1. THE FIRE LINE FROM THE 6" DDCV TO THE BUILDING INCLUDING THE FIRE DEPARTMENT CONNECTION (FDC) IS PART OF THE DESIGN OF THE FIRE PROTECTION SYSTEM AND IS SHOWN ON THIS DRAWING FOR LOCATION INFORMATION ONLY. SEE THE FIRE PROTECTION SYSTEM PLANS FOR SPECIFICATIONS AND DETAILS FOR CONSTRUCTION OF THE FIRE LINE AND ALL FIRE PROTECTION SYSTEM FACILITIES.
2. THE PROPOSED RESTAURANT WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.



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UTILITY PLAN
7-ELEVEN
3100 NW 9TH AVENUE (S.R. 816)
CITY OF OAKLAND PARK
BROWARD COUNTY, FLORIDA



WILLIAM PFEFFER, P.E. LICENSE NO. 73068 1/28/2016	
PLAN STATUS	
DATE	DESCRIPTION
JT DESIGN	JMC DRAWN BP CHKD
SCALE 1" = 20'	
JOB No.	010063-02-038
DATE	01/29/2016
FILE	010063-dcp-001-ulp.dwg
SHEET 12	



ALTA / ACSM LAND TITLE BOUNDARY & TOPOGRAPHIC SURVEY

SURVEYOR'S NOTES:

- THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. SAID SURVEY MEETS THE "STANDARDS OF PRACTICE" FOR THE SURVEYING AND MAPPING, AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
- THE TOPOGRAPHIC INFORMATION IS BASED UPON A GROUND SURVEY PERFORMED IN JULY 2015. THE CONTOUR INTERVAL IS ONE FOOT.
- THE BOUNDARY SURVEY SHOWN HEREON WAS PREPARED UTILIZING THE DESCRIPTION AS CONTAINED WITHIN THE BROWARD COUNTY PUBLIC RECORDS FOR THE ADDRESS PROVIDED BY THE CLIENT.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH AMERICAN DATUM 1983, 2011 ADJUSTMENT, FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE. THIS REFERENCE WAS ESTABLISHED BY USING TOPCON GPS RECEIVERS WITH THE TRIMBLE VIRTUAL REFERENCE NETWORK. NO LOCAL CONTROL WAS LOCATED TO USE AS A CHECK TO THIS BASIS OF BEARINGS. THE OBSERVED BEARING OF N87°16'22"E FOR THE NORTH LINE OF THE SUBJECT PARCEL WAS USED AS A BASIS FOR THIS SURVEY.
- THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) AND ARE BASED UPON THE FOLLOWING BROWARD COUNTY BENCHMARK:
#2655 - SQUARE CUT IN HEADWALL - ELEVATION = 5.25
- THIS SURVEY WAS PERFORMED UTILIZING G.P.S.-R.T.K. PROCEDURES AND TRADITIONAL SURVEY PROCEDURES WITH REDUNDANT MEASUREMENTS, AND HAS A HORIZONTAL AND VERTICAL POSITIONAL TOLERANCE OF 0.10 FEET.
- ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF AND ARE CALCULATED UNLESS OTHERWISE NOTED.
- THE RIGHT OF WAY WIDTHS FOR W. OAKLAND PARK BOULEVARD AND POWERLINE ROAD WERE TAKEN FROM BROWARD COUNTY SECTION MAPS. LOCAL OCCUPATION SUPPORTS MEASUREMENT OF THE PORTION OF THE RIGHT OF WAYS WITHIN SECTION 22 (50' HALF RIGHT OF WAY), RIGHT OF WAY WIDTHS FOR THE PORTION OF SAID RIGHT OF WAYS LYING WITHIN THE ADJOINING SECTIONS ARE AS SHOWN ON SAID SECTION MAPS AND WERE NOT VERIFIED.
- THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION "X" (0.2% ANNUAL CHANCE FLOOD HAZARD) BY THE FEDERAL MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP NUMBER 12010C0367H, DATED AUGUST 18, 2014, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY THIS PARCEL IS SITUATED IN.
- THE EXPECTED USE OF THE LAND BOUND BY THIS SURVEY, AS CLASSIFIED IN THE "MINIMUM TECHNICAL STANDARDS" IS "COMMERCIAL" WITH THE MINIMUM LINEAR CLOSURE FOR THIS TYPE OF BOUNDARY SURVEY TO BE 1 FOOT IN 10,000 FEET (1:10,000). THE ACCURACY OBTAINED BY MEASUREMENT, OBSERVATION AND CALCULATION OF THE CLOSED GEOMETRIC FIGURE FOR THIS SURVEY WAS DETERMINED TO MEET SAID REQUIREMENT.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

LEGAL DESCRIPTION

THE SOUTH 200 FEET OF THE WEST 217.8 FEET OF THE S.W. 1/4 OF THE S.W. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 49 SOUTH, RANGE 42 EAST, LESS THE WEST 50 FEET AND THE SOUTH 50 FEET DEDICATED FOR PUBLIC ROAD RIGHT-OF-WAY, AND LESS THAT PART OF THE ABOVE DESCRIBED LANDS WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 25 FOOT RADIUS ARC, WHICH IS TANGENT TO A LINE 50 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF SAID SECTION 22, AND TANGENT TO A LINE 50 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID SECTION 22, CONTAINING 145 SQUARE FEET, MORE OR LESS, DEDICATED FOR PUBLIC ROAD RIGHTS-OF-WAY, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATION:

THE TITLE DOCUMENTS FOR THE SURVEYED PROPERTY HEREIN DESCRIBED PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY FOR TITLE INSURANCE 1000-156299-RIT, EFFECTIVE DATE: JULY 10, 2015 AND, WITH RESPECT TO THE ITEMS IDENTIFIED AS EXCEPTIONS ON SCHEDULE B - SECTION II OF THE TITLE INSURANCE COMMITMENT WITH RESPECT TO THE SURVEYED PROPERTY: ITEMS 1 THROUGH 8 ARE STANDARD EXCEPTIONS - NO COMMENTS.

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
- ANY RIGHTS, INTERESTS, OR CLAIMS OF PARTIES IN POSSESSION OF THE LAND NOT SHOWN BY THE PUBLIC RECORDS.
- ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
- ANY LIEN, FOR SERVICES, LABOR, OR MATERIALS IN CONNECTION WITH IMPROVEMENTS, REPAIRS OR RENOVATIONS PROVIDED BEFORE, ON OR AFTER DATE OF POLICY, NOT SHOWN BY THE PUBLIC RECORDS.
- ANY DISPUTE AS TO THE BOUNDARIES CAUSED BY A CHANGE IN THE LOCATION OF ANY WATER BODY WITHIN OR ADJACENT TO THE LAND PRIOR TO DATE OF POLICY, AND ANY ADVERSE CLAIM TO ALL OR PART OF THE LAND THAT IS, AT DATE OF POLICY, OR WAS PREVIOUSLY UNDER WATER.
- TAXES OR SPECIAL ASSESSMENTS NOT SHOWN AS LIENS IN THE PUBLIC RECORDS OR IN THE RECORDS OF THE LOCAL TAX COLLECTING AUTHORITY, AT DATE OF POLICY.
- THIS ITEM HAS BEEN INTENTIONALLY DELETED.
- TAXES AND ASSESSMENTS FOR THE YEAR 2015 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
- EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY BY INSTRUMENT RECORDED IN BOOK 1196, PAGE 486. (AFFECTS THE SUBJECT PARCEL, SHOWN ON SURVEY.)
- TERMS AND CONDITIONS OF ANY EXISTING UNRECORDED LEASE(S) AND ALL RIGHTS OF LESSEE(S) AND ANY PARTIES CLAIMING THROUGH THE LESSEE(S) UNDER THE LEASE(S). (NOT A SURVEY ISSUE.)

TO: 7-ELEVEN, INC., A TEXAS CORPORATION
FIRST AMERICAN TITLE INSURANCE COMPANY
REPUBLIC TITLE OF TEXAS, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS AS BUSHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 7(a), 8, 9, 11(a), 12, 13 OF TABLE 1, OTHER THAN THE FIELD WORK WAS COMPLETED ON JULY 22, 2015.

I CERTIFY THAT THIS "ALTA/ACSM LAND TITLE SURVEY" MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH IN RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

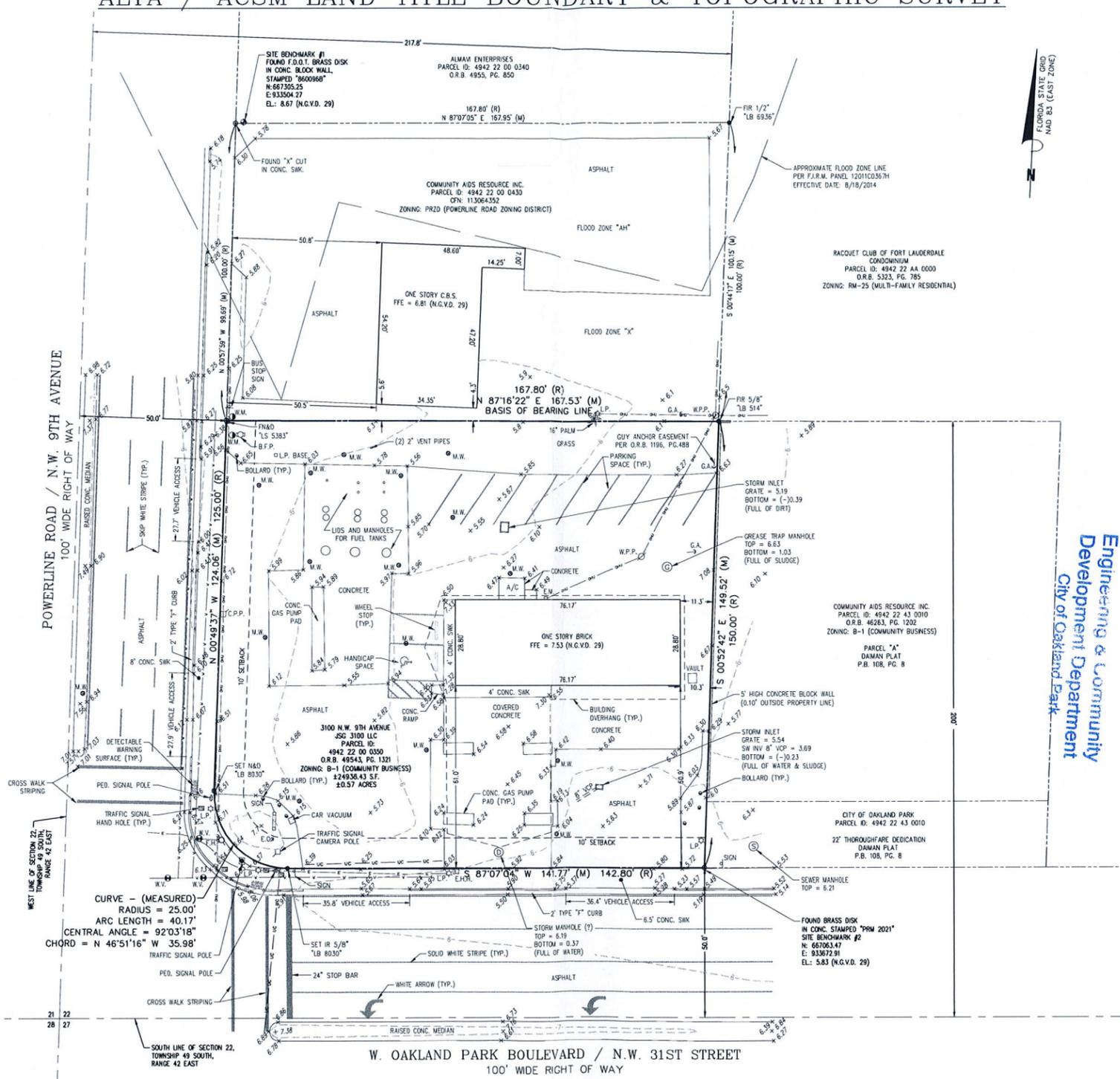
DATE OF PLAT OR MAP: JULY 28, 2015

DATE OF REVISION THROUGH:

KURT STAFFLINGER
FLORIDA SURVEYOR AND MAPPER
REGISTRATION NO. 5496
kstafflinger@bowmanconsulting.com

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

BOWMAN CONSULTING GROUP, LTD., INC.
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB 8030
(LB 8030 - LICENSED BUSINESS NUMBER 8030)



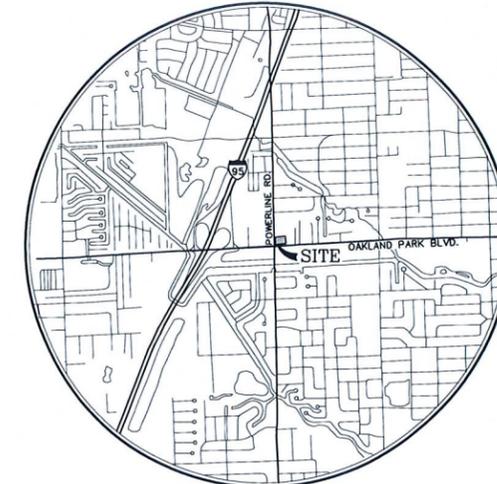
ZONING:

B-1 COMMUNITY BUSINESS
SETBACK REQUIREMENTS:

- FRONT:
 - 25 FEET IF 300 FEET OR MORE IN DEPTH, TEN (10) FEET IF LESS THAN 300 FEET IN DEPTH.
 - 25 FEET WHEN A RESIDENTIAL DISTRICT IS ACROSS THE STREET WITH THE FIRST TEN (10) FEET LANDSCAPED UNLESS THE PARCEL IS 300 FEET IN DEPTH IN WHICH CASE THE ENTIRE SETBACK SHALL BE LANDSCAPED.
 - FENCES AND WALLS: TEN (10) FEET; HEDGES OR TREES: SEVEN (7) FEET.
- SIDE: 15 FEET WHERE B-1 DISTRICT DIRECTLY ABUTS A RESIDENTIAL DISTRICT.
- CORNER:
 - TEN (10) FEET ABUTTING ON THE SIDE STREET, ALLEY OR WATERWAY.
 - 25 FEET WHEN A RESIDENTIAL DISTRICT IS ACROSS THE STREET WITH THE FIRST TEN (10) FEET LANDSCAPED.
 - NO FENCE, WALL, HEDGE, TREE, STRUCTURE OR PARKING SPACE SHALL BE ERRECTED OR ALLOWED TO OBSTRUCT VISION WITHIN 30-FOOT CLEAR SIGHT TRIANGLE AT THE CORNER OF THE PROPERTY.
- REAR: 15 FEET WHERE A B-1 DISTRICT IS SEPARATED BY AN ALLEY OR WATERWAY FROM A RESIDENTIAL DISTRICT OR WHERE A B-1 DISTRICT ABUTS A RESIDENTIAL DISTRICT.

PARKING REQUIREMENT:

1 SPACE PER 300 GROSS SQUARE FEET OF FLOOR AREA



VICINITY MAP
SCALE: 1" = 2000'

LEGEND

- ⊕ SIGN
- E.H.H. ELECTRIC HAND HOLE
- W.P.P. WOOD POWER POLE
- C.P.P. CONCRETE POWER POLE
- L.P. LIGHT POLE
- G.A. GUY ANCHOR
- M.W. MONITOR WELL
- ⊙ GREASE TRAP MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ STORM INLET
- ⊙ STORM MANHOLE
- ⊙ BACK FLOW PREVENTER
- W.V. WATER VALVE
- W.M. WATER METER
- F.H. FIRE HYDRANT
- ⊙ TRAFFIC SIGNAL HAND HOLE
- ⊙ TRAFFIC LIGHT POLE
- ⊙ PEDESTRIAN SIGNAL POLE
- ⊙ BOLLARD
- ⊙ PALM TREE
- ⊙ FOUND IRON ROD
- A/C AIR CONDITIONING
- C.B.S. CONCRETE BLOCK STRUCTURE
- CFN CLERK'S FILE NUMBER
- CONC. CONCRETE
- EL. ELEVATION
- E.O. ELECTRICAL OUTLET
- E.M. ELECTRICAL METER
- FFE FINISHED FLOOR ELEVATION
- FIR FOUND IRON ROD
- F.N&D FLORIDA DEPARTMENT OF TRANSPORTATION
FOUND NAIL & DISK
- ID. IDENTIFICATION
- IR IRON ROD
- INV INVERT
- (M) MEASURED BEARING AND DISTANCE
- N&D NAIL & DISK
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- PG. PAGE
- PEDE. PEDESTRIAN
- (R) RECORD DISTANCE
- TYP. TYPICAL
- SWK SIDEWALK
- VCP VITRIFIED CLAY PIPE
- — — OVERHEAD UTILITIES
- — — UNDERGROUND COMMUNICATIONS
- — — UNDERGROUND ELECTRIC
- — — WATER LINE

RECEIVED
FEB 01 2016

Engineering & Community
Development Department
City of Oakland Park

SCALE: 1" = 20'

REVISION	PER COMMENTS
10/28/15	

PLAT SHOWING A
ALTA/ACSM LAND TITLE SURVEY
FOR
7-ELEVEN STORE #37549
3100 N.W. 9TH AVENUE
OAKLAND PARK, FLORIDA
SECTION 22, TOWNSHIP 49 SOUTH, RANGE 42 EAST
CITY OF OAKLAND PARK
BROWARD COUNTY, FLORIDA

DATE: JULY 28, 2015

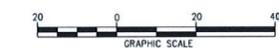
Bowman CONSULTING

Bowman Consulting Group, Ltd.
4450 W. Eau Gallie Blvd., Suite 232
Melbourne, Florida 32934

Phone: (321) 226-5434
Fax: (321) 226-5434
www.bowmanconsulting.com

By: RT CHK: KS QC:

BCG PROJECT NO: 8577 TASK: 00001 COUNTY REF NO: SHEET 1 OF 1



8577-D-BP-001

1/20/2016 11:51:42 AM

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FEB 01 2016

Engineering & Community Development Department
City of Oakland Park

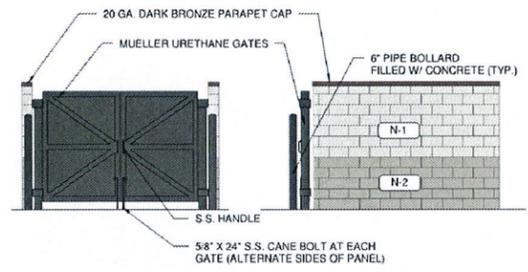
EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF.-COLOR
MR-1	MEMBRANE ROOFING	DUROLAST - WHITE
N-1	PAINTED SPLIT-FACE BLOCK	TBD - AESTHETIC WHITE
N-2	PAINTED SPLIT-FACE BLOCK	TBD - BALANCED BEIGE
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES, EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7675
P-6	WALL PACKS, PARAPET CAP, DOWNSPOUTS	MATCH STOREFRONT FINISH
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER - DARK BRONZE
C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY - BRONZE BAKED ENAMEL W/ REAR GUTTER CONNECTIONS ON FRONT CANOPY

bates

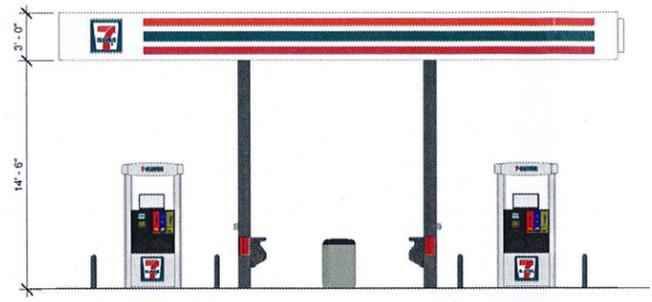
106 N 37TH STREET, SUITE C
ROGERS, ARKANSAS 72756
WWW.BATESARCHITECTS.COM
TEL: 479.633.8165

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Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, materials, sequences or procedures, or for safety precautions and programs in connection with the project.

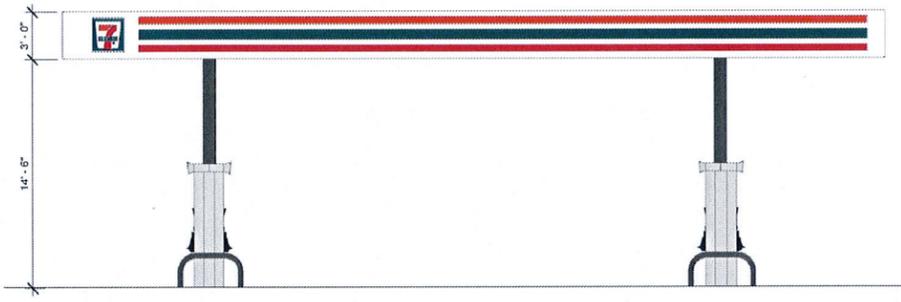
7-ELEVEN STORE #37549
3100 NW 9TH AVE. OAKLAND PARK, FL 33309
CREIGHTON COMMERCIAL DEVELOPMENT
900 SW PINE ISLAND ROAD, SUITE 202, CAPE CORAL, FL 33991



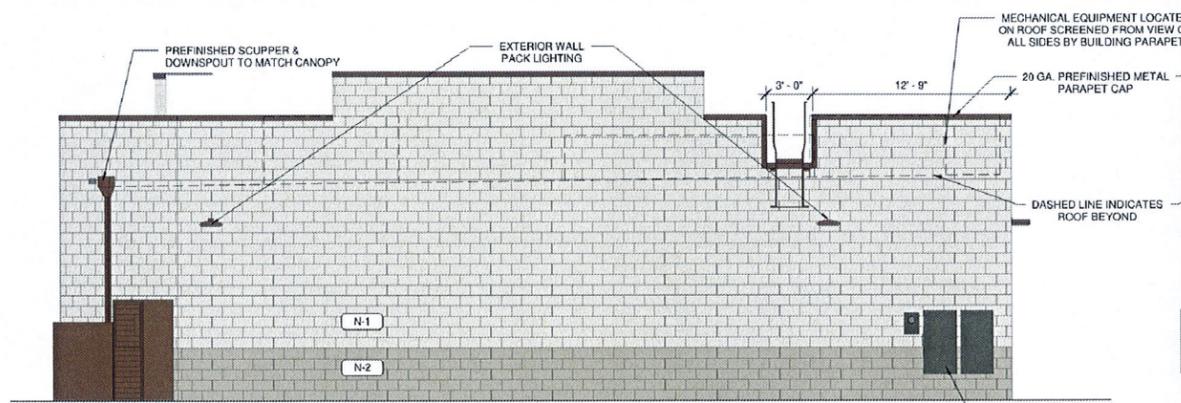
8 DUMPSTER ELEVATIONS
3/16" = 1'-0"



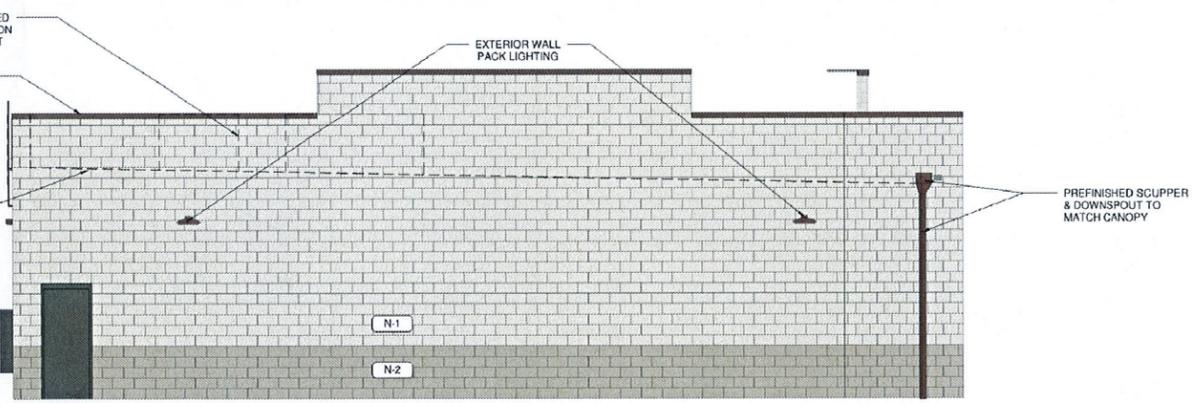
7 FUEL CANOPY ELEVATION - SHORT
3/16" = 1'-0"



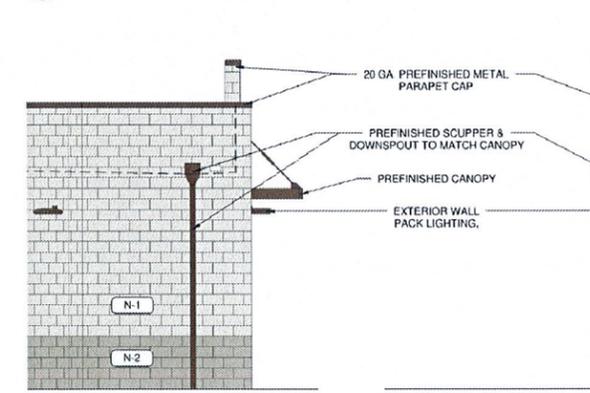
6 FUEL CANOPY ELEVATION - LONG
3/16" = 1'-0"



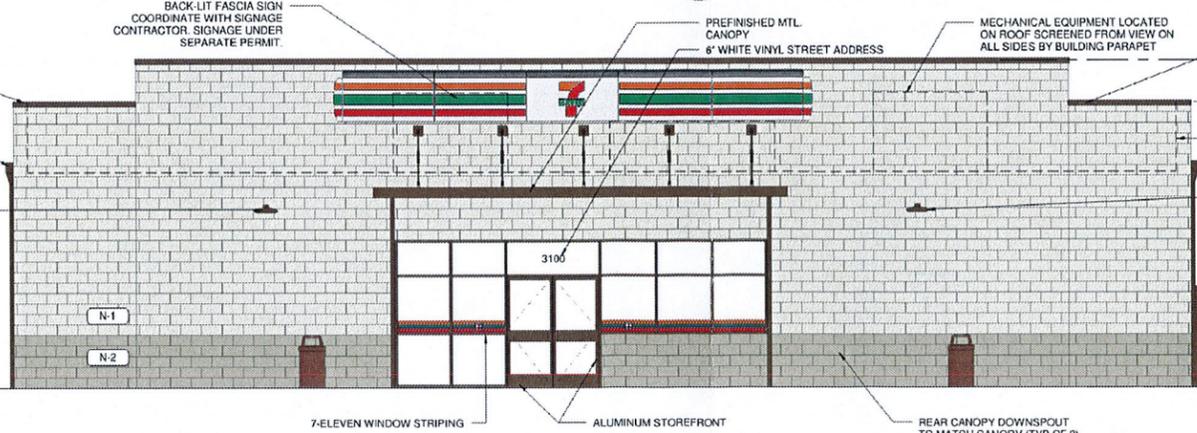
5 REAR ELEVATION
3/16" = 1'-0"



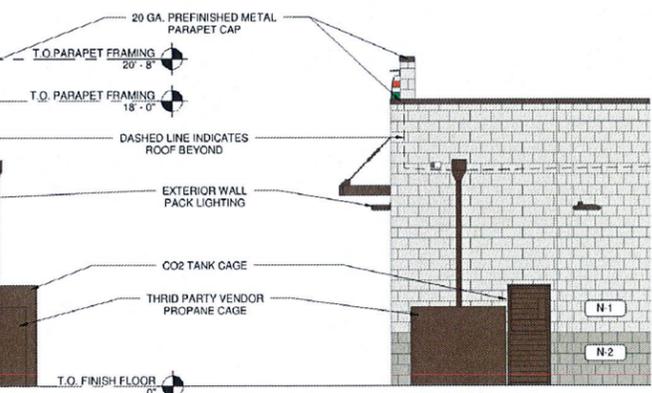
4 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



2 FRONT ELEVATION
3/16" = 1'-0"



1 RIGHT ELEVATION
3/16" = 1'-0"

Architect Name - Architect
Architect Number

THE SEAL AND SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED AND WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 16008
Release Date: 01/25/16

R0.01

REVIEW BOARD ELEVATIONS

N:\00 EMPLOYEES\Christophe\00 TEMP PROJECT FILES\7-11 37549 Oakland Park\Oakland Park, FL @ 3100 NW 9th Ave_R16.rvt

RECEIVED

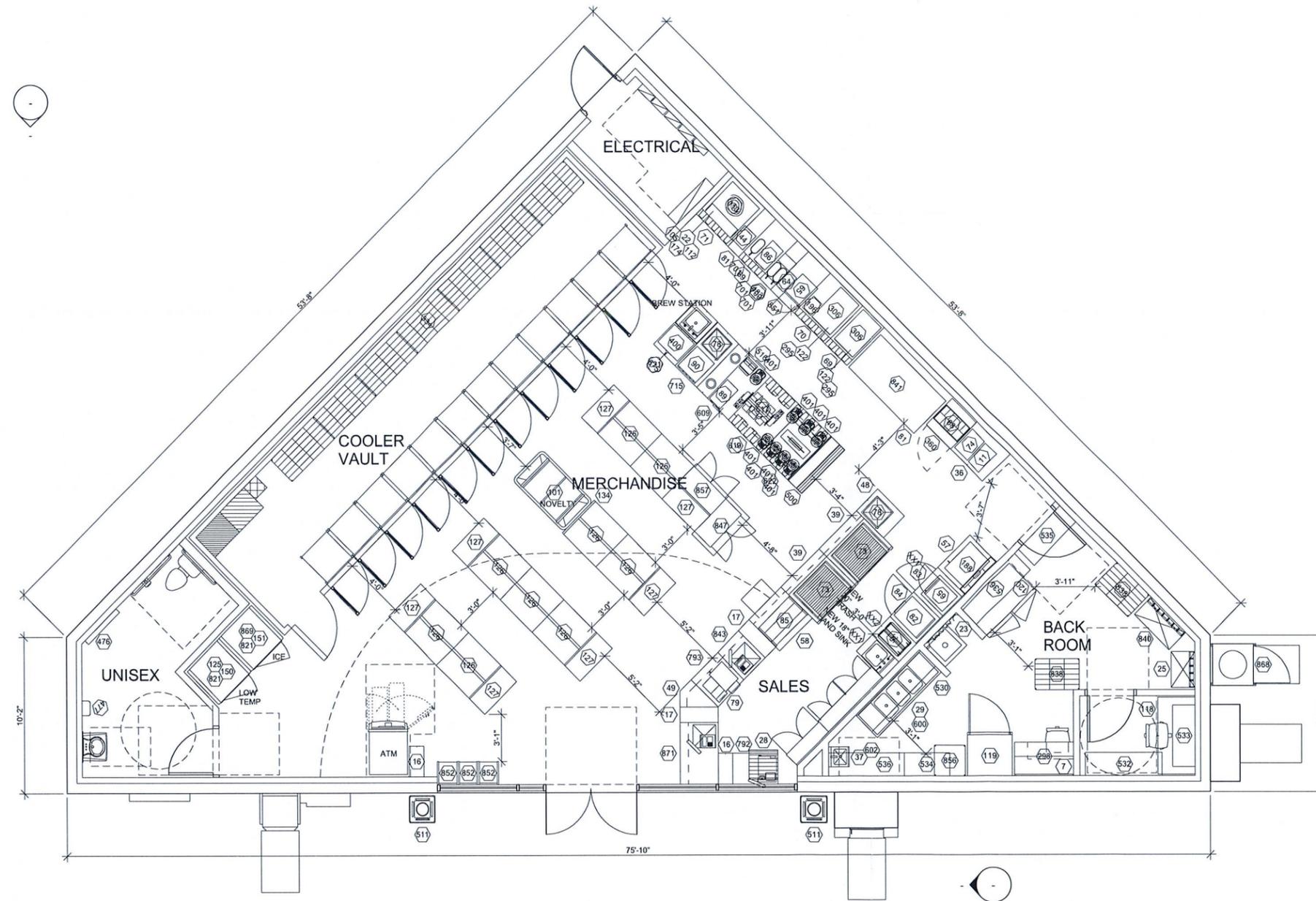
FEB 01 2016

Engineering & Community
Development Department
City of Oakland Park

bates

106 N 37TH STREET, SUITE C
ROGERS, ARKANSAS 72756
WWW.BATESARCHITECTS.COM
TEL: 479.633.8165

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Contractor is responsible for confirming and correlating dimensions at job site. Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.



LAYOUT INFORMATION

ROLLER GRILLS	2
SANDWICH CASE	1
VAULT DOORS	10
LOW TEMP DOORS	1
ICE MERCH. DOORS	1
NOVELTY CASE	1
BAKERY CASE	2
SLURPEE BARRELS	6

GONDOLA UNITS	19
END CAPS	06
HIGH WALLS	00
TOTAL	25

TOTAL SQ FT	= 2,208 SF
SALES FLOOR AREA	= 1,275 SF

GAS: YES LIQUOR: NO
BEER: YES WINE: YES

OCCUPANT LOAD (>49) = 42
TRAVEL DISTANCE (<200) = 73'
COMMON PATH OF TRAVEL (<75) = 34'
RESTROOMS REQUIRED = 1
EXITS REQUIRED = 1

OVERHEAD SHELVES = 32 FT
FLOOR SHELVES = 08 FT

7-ELEVEN STORE #37549
3100 NW 9TH AVE. OAKLAND PARK, FL 33309
CREIGHTON COMMERCIAL DEVELOPMENT
900 SW PINE ISLAND ROAD, SUITE 202, CAPE CORAL, FL 33991

Architect Name - Architect
Architect Number

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REVISIONS	
NO.	DESCRIPTION

PROJECT NUMBER: 16008
Release Date: 01/20/16

R0.02

1 FLOOR PLAN
R0.02 1/4" = 1'-0"



DRC COMMENT PACKAGE

**CD16-03CU "7-Eleven Conditional Use"
DRC Meeting Date: March 10, 2016**

CITY OF OAKLAND PARK

"A CITY ON THE MOVE"

**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
5399 North Dixie Highway, Oakland Park, Florida 33334
Office 954-630-4333 Fax 954-630-4353
www.oaklandparkfl.org**

Requirements for Resubmission of Plans to the DRC

Attached to this cover page are the Site Development Plan Review Comments for the referenced property from the members of the Development Review Committee.

To resubmit your plans and application for review the following must be provided. Please note that your plans and other documents will not be accepted without the following items in the following manner:

- _____ 1. **Appointment with a Planner** at (954) 630-4339 or by email KristenN@oaklandparkfl.gov to submit the application.
- _____ 2. **Application Fees of \$_____ (see fee table) for each submission to the DRC**, make checks payable to the City of Oakland Park.
- _____ 3. **Response and Referral Letter:** respond to each comment with a reference to the change on the site development plan sheet, must be attached to every plan set.
- _____ 4. **Site Development Plans and Surveys or Plats:** collated and stapled sets (24"x36"), 2 must be signed and sealed, all must be folded down to letter size and one (1) additional set must be an UNSTAPLED 11"x17" set.
 - _____ a. Surveys (at least 2 must be signed and sealed by a professional surveyor).
 - _____ b. Site Development Plans Must Consist of the following: copy of plat, site plan, landscape plan (all landscape plans must be signed and sealed by a registered landscape architect), floor plan, site lighting plan, building elevation plan, and schematic engineering where applicable and including all items listed in Section 24-164(B)(3). For Downtown Mixed-Use District, Federal Highway Business District, and Mixed-Use Land Development applications refer to the applicable ordinance for site development plan requirements.
- _____ 5. **Other:** calculations, plans, documents, surveys, studies, etc. could be required by a DRC member, attach a copy to every plan sheet. If signed and sealed, attach them to the minimum number of signed sealed sets and the remainder can be copies.

DRC Final Sign-Off Review Submission Requirements

Applications will not be accepted without the following items.

- _____ 1. **Fee of \$228.80.** Checks payable to the City of Oakland Park.
- _____ 2. **Response and Referral Letter** must be attached to every plan set.
- _____ 3. **Site Development Plans and Surveys:** collated and stapled sets (24"x36"), 3 must be signed and sealed, all must be folded down to letter size and one (1) additional must be an UNSTAPLED 11"x17" set.
 - _____ a. Surveys (at least 2 must be signed and sealed by a professional surveyor).
 - _____ b. Site Development Plans Must Consist of the following: site plan, landscape plan (all landscape plans must be signed and sealed by a registered landscape architect), floor plan, site lighting plan, building elevations, and schematic engineering where applicable and including all items listed in Section 24-164(B)(3). For Downtown Mixed-Use District, Federal Highway Business District, and Mixed-Use Land Development applications refer to the applicable ordinance for site development plan requirements.
 - _____ c. Each plan set must have a copy of all additional attachments including but not limited to color renderings, legal documents and exhibits, planning studies and data reports, pictures, etc.



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**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: CD16-03CU "7-Eleven Conditional Use"

Review Date: March 2, 2016

Reviewer: Kristen Nowicki, AICP, Senior Planner

E-mail: KristenN@oaklandparkfl.gov

Review Type: Planning

Review Number: 1

Phone: (954)630-4339

Application

1. Please submit a Plat application. It will be a separate application but the two applications will run concurrently through public hearings, etc. Please note that we do not advise resubmittal of this application until after we receive the Plat application because details in the Plat (and subsequent County Development Review Report) could change the Site Plan and consequently, our review comments.
2. In the project narrative (last paragraph) and 4b of the Conditional Use criteria, there is reference to adjacent property zoning districts. There is a minor correction necessary. The narrative refers to B-1, B-2 and B-3 as the adjacent zoning districts. Please revise to indicate the following:
East: B-1, West: B-1, North: PRZD, South: City of Wilton Manors (Commercial)
Also of note regarding the adjacent uses is that the coin laundry to the north is no longer in operation. Plans are in the building department to clean up the site (removing the laundry connections inside, new windows and doors on the building) and prepare it to become a medical office in the future for the Care Resource office.
3. There are no photometric plans in the package; please prepare a photometric plan with foot candle readings to where the property line will be after the ROW dedication.
4. In the pre-application meeting, we discussed the possibility of this project needing a landscape variance due to the loss of land on both sides of the property as a part of the required ROW dedications. The City has new Landscaping guidelines that feature a process for waivers (instead of a variance) subject to providing additional features in return. We shall discuss this at the DRC meeting to see what may be reasonable for this site, given future use of the adjacent ROW.

Conditional Use Criteria

5. The criteria to be addressed in 4c (Facility levels of service maintained) refers to the City's facilities of water, sewer, drainage, fire, and public safety. While your justification somewhat addresses these noting that there will be less fueling stations after the site is re-built, you may want to revise your justification to be more comprehensive in nature.



**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: CD16-03CU "7-Eleven"

Review Date: March 3, 2016

Reviewer: Justin Proffitt, AICP, Senior Planner

E-mail: justinp@oaklandparkfl.gov

Review Type: Zoning

Review Number: 1

Phone: (954)630-4348

General Comments

1. Prior to resubmitting the site development plan for a second DRC review, you should provide a copy of the Broward County Development Review Report (DRR). **All of the below comments may change or additional comments may be added/subtracted based on the outstanding plat review.**
2. Provide a copy of the existing plat and/or the proposed plat showing all signature blocks, dedications of land, proposed easements etc.
3. The site plan property lines are not shown correctly. The dedication lines are the new property lines and should be shown as such in order to avoid confusion.
4. There is a new business category of "24 Hour Business," which requires conditional use approval. Your narrative response to the criteria should be updated to address why it is necessary for the business to be open 24 hours, fuel delivery times, interior and exterior video cameras per CPTED comments, lighting, limitations, if any, on alcohol sales, and any music and/or TV sounds emanating from the fuel pump stations or canopies.
5. Your narrative should address how the store will comply with the Convenience Store ordinance in Chapter 7, Article 8.
6. Do you propose a generator? If so, the location, dimensions are not shown on the plan sheets.
7. What is the black line along the north side of the building? Is it a wall?
8. Please properly staple each set of plans and place a binder on the outside of the plans for the resubmission.

Minimum Site Development Plan Requirements

9. Provide a survey that complies with the "Minimum Site Development Plan Requirements"

as stated on the Master Development Permit Application; the following items are deficient

- 9.1. The survey does not show the correct property lines as this property will be platted and land will be dedicated to FDOT and/or Broward County for right-of-way.
10. Provide a site plan with a site plan data table that complies with the “Minimum Site Development Plan Requirements” as stated on the Master Development Permit Application; the following items are deficient:
 - 10.1. Current use of property and intensity. It just says “commercial.”
 - 10.2. Land Use designation
 - 10.3. Site area vs. Development Area. It is unclear which one applies to the future size of the property following the plat approval.
 - 10.4. Building Footprint does not match the data table number.
 - 10.5. Provide all calculations in gross floor area.
 - 10.6. Parking Data table has incorrect data and calculations.. redo the whole table.
 - 10.7. Building Height data is incorrect.
 - 10.8. Update setback table to show all distances of pumps and canopies from the areas specified in Section 24-74(C).
 - 10.9. Vehicular Use Area (in sq ft and % of site)
11. Provide a site plan with site plan features (graphically indicated) that complies with the “Minimum Site Development Plan Requirements” as stated on the Master Development Permit Application; the following items are deficient:
 - 11.1. Adjacent rights-of-way to opposite property lines (indicate all nearby curb cuts)
 - 11.2. Outline of adjacent buildings (indicate height in stories and approximate feet)
 - 11.3. Ground floor plan
 - 11.3.1. Superimpose the floor plan on the site plan.
 - 11.4. Property lines are not correctly drawn in relation to the ROW dedication. Label the agency who will receive the off-site dedication area.
 - 11.5. Dimension of grade at crown of road, at curb, sidewalk, building entrance, and finished floor elevation.
 - 11.6. Dimension/setbacks for all site plan features:
 - 11.6.1. This includes landscape islands, sidewalks, curbing, air/vac machines, lighting, etc.
 - 11.7. Mechanical Equipment dimensioned from property lines.
 - 11.8. Proposed ROW improvements (i.e. bus stops, curbs, etc.)
 - 11.8.1. Show the existing bus stop and bench or nearest.
 - 11.9. Project signage, location, shape, colors, fonts, and size.
 - 11.10. Indication of any site or building design methods used to conserve energy and/or water
 - 11.11. Indication of any site or building design methods used to incorporate the principles of Crime Prevention through Environmental Design (CPTED).
12. Provide building elevations that complies with the “Minimum Site Development Plan Requirements” as stated on the Master Development Permit Application; the following item

is deficient:

- 12.1. Provide complete details of the proposed signage on the building and on the ground.
 - 12.2. All building facades with directional labels, (north, south, east, west).
 - 12.3. Dimensions, including the width of the structures.
13. Provide a photometric plan that complies with the “Minimum Site Development Plan Requirements” as stated on the Master Development Permit Application; the following items are deficient:
- 13.1. Foot-candle readings must extend to all property lines. Special attention should be given to the residential property to the northeast of the site so that no glare will bleed onto the property. Also, the lighting should be shielded as appropriate to avoid glare onto the adjacent roadways.
 - 13.2. Show location of all light poles, proposed shielding methods, and all product materials.
14. Provide a floor plan that complies with the “Minimum Site Development Plan Requirements” as stated on the Master Development Permit Application; the following items are deficient:
- 14.1. Delineate and dimension use of interior spaces.
 - 14.2. The floor plan is very hard to read and is not labeled to the corresponding number. There are features that are shown outside of the building in setbacks, they are not labeled, or dimensioned.
15. Provide temporary construction fencing plan. §12-164(B)(4)

District Regulations

16. All light poles or other accessory structures such as Air/Vac machine, CO2 Tank, Propane Cages cannot be within setbacks. Except for the Air/Vac, the other structures must be shown on the site plan with dimensions from property lines. They are required to meet the district setbacks since they are not a permitted item in a required buffer yard. §24-245(94)
17. All the below dimensions should be shown in the setback data table and on the site plan. It appears that setback numbers 1, 4, and 5 cannot be met. §24-74(C)
Location of gasoline pumps, canopies and other structures.
- (1)Distance from right-of-way for gas pumps: Minimum of thirty-five (35) feet.
 - (2)Gas pump distance from property line: Minimum of fifteen (15) feet.
 - (3)Gas pump or canopy distance from residential district line: Minimum of twenty-five (25) feet.
 - (4)Gas pump distance from property access point: Minimum of fifty (50) feet.
 - (5)Distance from right-of-way for canopies: Minimum of twenty-five (25) feet.

18. Building Site Coverage and Green Space. Along street right-of-way: A landscaped strip at least twenty-five (25) feet in depth with a three-foot high berm. §24-74(D)(2)

Supplemental Regulations

19. See newly adopted Master Business List supplemental regulations §24-41(D)(13) for propane tank gas sales and storage. Show all dimensions, tank size, etc. Tanks cannot be in setbacks.

Solid Waste Requirements

20. Provide details of the solid waste enclosure dimensions; provide detailed drawing demonstrating compliance. §13-23 & §24-165(C)(4)(e)

Building Elevations

21. Proposed architecture lacks enough windows, uses CBS block wall with barely any other styling, is not acceptable and not consistent with adjacent quality commercial developments. To begin with, the wall should be changed to a stucco finish. CBS block wall with no finishing is unsightly. Improve the parapet instead of a metal cap. For a retail store to have this little window space is surprising.
22. Provide address numerals at least 10" high. In addition address numerals at least 3" high by rear doors. Put note on the plans or show numeral area on the building elevations. §24-145(A)(3)(b). Numerals larger than the minimum will count as wall signs.
23. Storefront canopy dimensions are not shown and appear to be too narrow for proper shelter near the doorway. Consider making the canopy deeper to properly shelter the doorway.

Parking, Loading, and Access

24. Parking data table is incorrect. You don't need to count parking spaces in front of a fuel island. Retail parking requirement is 1:300 sf. §24-80(C), §24-80(D)
25. Show the required 20' sight visibility triangles on the site plan and remove any obstructions from these areas. §24-83(B)(5), §24-105(C)(2)(h), §24-106(A)(2)(b)
26. Indicate that all directional and traffic control pavement markings will be thermoplastic. §24-83(A)(5)(c) & §24-83(B)(8)(c)
27. Your Paving plan shows both Type D and F curbing, but it is not clearly delineated on the plan. Type D is required on-site. §24-80(B)(2)(k)

28. An alternative parking lot design if needed; parking spaces along storefront can be reduced to minimum 16ft in length with an overhang of up to 2ft onto the curbed walkway. §24-80(B)(2)(k)
29. All curb cuts not utilized to access site or not meeting code shall be properly removed and restored to same condition as the adjacent right-of-way abutting the property. §24-83(A)(1)(j)
30. A westbound right turn lane on Oakland Park Blvd and Powerlines Rd with a minimum of 150ft storage and 100ft transition is required to be constructed when either the roadway or intersection does not meet the LOS standards. OPB adopted LOS is "D" or "Maintain," but the roadway operates at LOS F per the City's Comprehensive Plan and the Broward MPO data. §24-83(A)(2)(a); §24-175(B), (C), & (D)
31. A stop sign shall be provided at each point of egress to an arterial. §24-83(A)(5)(a)

Landscaping & Fences

32. There is a new landscape waiver process in the Landscape & Streetscape Design Standards being considered by the City Commission that may reduce the need for a variance. However, alternative mitigation plans subject to a landscape waiver must follow the review criteria in the document.

EXHIBIT "A"
CITY OF OAKLAND PARK
SITE AND DEVELOPMENT APPLICATION INFORMATION SHEET

PETITION NO.: #CD16-03CU/C "7-Eleven Gas station & C-Store"

DATE: March 3, 2016

PETITIONER: JSG 3100 LLC/&-Eleven Stores

REQUEST: Conditional Use, Site Plan and Concurrency Review & Approval

SECTION: SW 1/4 22-49-42 **SIZE:** .53 ± Net Acres

A. LOCATION: 3100 NW 9 Avenue

B. DENSITY PERMITTED: N.A. **REQUESTED:** N.A.

	Subject Property	North	East	South	West
C.EXISTING ZONING	B-1	PRZD	B-1	B-2 (Wilton Manors)	B-1
D.EXISTING LAND USE	Gasoline Service Station	Business/Commercial	Business/Commercial	Business/Commercial (Wilton Manors)	Business/Commercial
E.FUTURE LAND USE	Commercial	Commercial	Commercial	Commercial (Wilton Manors)	Commercial

F. DEVELOPMENT CONCURRENCY REVIEW: The planned use of the property will meet the Concurrency LOS standards.

1. **Potable Water Service** - Adequate and available upon upgrade of potable water distribution system.
2. **Wastewater Treatment & Disposal** - Adequate and available upon upgrade of sanitary sewer collection system.
3. **Solid Waste Disposal** -Adequate and available.
4. **Drainage** – First floor elevation must meet Concurrency LOS prior to the issuance of any Building Permits.
5. **Regional Transportation Network Capacity** – Adequate & Available. Transit Oriented Concurrency Impact fees to be determined by Broward County.
6. **Local Street & Road Access** – Adequate & Available
7. **Fire Flow/Protection** -Adequate and available upon the sign-off by the Fire Marshal.
8. **Parks & Recreation Facilities** – N.A.
9. **School Sites and Buildings** – N.A.

G. DEVELOPMENT CONSISTENCY REVIEW: The Commercial category of the 2007 Future Land Use Map, as amended, can accommodate the proposed use.

LANDSCAPE PLAN REVIEW

CITY OF OAKLAND PARK

Project Name: 7 ELEVEN
3100 NW 9th Ave

Review Date: February 18th, 2016

Review type: Landscape 1st review

Reviewer: LISA BISHOP HILL

Review Number: CD16-03CU

E-mail: lisah@oaklandparkfl.gov

Phone # 954-630-4336

Please respond to all comments in writing as well as on appropriate plans.

1. **Sec.24.74.(D)(2).** Gasoline service station site plan requirements, building site coverage and green space. Along street right of way: a landscaped strip at least twenty-five (25) feet in depth with a three foot high berm.
 - **A 25 ft landscape buffer strip is required with a three ft high berm along street right of way. Plans are showing 0'-15' along Oakland Park Blvd. 0'-15' along Powerline Road and 0'-16' at corner. A variance will be required.**
2. **Sec.24-105(C)(2)(b).** Right of way edge requirements: One tree for each forty (40) linear feet or fraction thereof shall be located at least seven (7) feet from right of way line.
 - **Trees to be installed a minimum of seven (7) feet from the new right of way line.**
3. **Sec.24-105(C)(2)(c).** Right of way edge requirements: If there is a vehicular use area adjacent to the right of way, a decorative wall or hedge at least twenty-four (24) inches in height shall extend the entire length of the landscape strip, exclusive of any required vision triangle and shall be placed along the interior edge of the required landscape strip.
 - **A continuous hedge is to be installed. Variance would be required.**
4. **Sec.24-105(C)(2)(g).** Right of way edge requirements: No hedge shall be located closer than seven (7) feet from the right of way line.
 - **Required hedge to be placed a minimum of seven (7) feet from new proposed right of way line.**

5. **Sec.24-105(C)(2)(h).** Right of way edge requirements: No fence, wall, hedge, structure or parking space shall be erected or allowed to obstruct vision within a thirty-foot clear sight triangle at the intersection of any two (2) streets or within a twenty (20) foot clear sight triangle on each side of any driveway.

- **Show on plans required thirty foot clear sight triangle at corner of West Oakland Park Blvd and North Powerline Road measured from new right of way line.**
- **Show on plans 20 foot site triangles on ingress and egress on West Oakland Park Blvd and North Powerline Road, measured from new right of way line.**
- **Trees and hedge materials to be placed outside of site triangles or shrubs to be maintained at or below 36”.**

6. **Sec. 24-105 (D)(1)(b)** Plant materials: Trees. At time of planting, trees shall be a minimum height as follows:

Percent	Feet
60	10 feet or higher
20	12 feet or higher
20	14 feet or higher
10	16 feet or higher

- **Provide required table with proper number of trees, height of trees and percentage of trees to be installed. Total trees required 8, provided 17.**

7. **Sec.24-105(D)(1)(c)(1)** Plant materials: Trees and palms may not be planted closer than five (5) feet from any underground utility line.

- **Provide underground utilities on landscape plan, including water, and parking lot lighting. Trees to be planted a minimum of five (5) feet from utilities and minimum fifteen (15) feet from parking lot lighting. Proposed trees on north side of property are within five (5) feet of water main line.**

8. **Sec.24-105(D)(1)(f)** Irrigation system. All landscape areas shall be provided with an underground irrigation system. Irrigation system to have a minimum of 100% coverage with at least 50% overlap and an automatic rain sensor.

- **Provide above statement on plan and stating the use of bubblers on all new tree installations.**
- **Irrigation plan to be submitted at time of permit submittal.**

9. **Sec.24-105(D)(1)(g).** Root barriers: Root barriers shall be installed when medium or large species of shade trees are planted within three (3) feet from any hardscape such as roads, driveways, sidewalks, and curbing.
- **Root barriers shall be installed between adjacent pedestrian access sidewalk and proposed live oak tree. Recommend substituting live oak for a smaller species and relocating tree outside of vision triangle.**

Please add to or modify the planting notes:

10. Recommend substituting the proposed five (5) live oak trees for smaller species such as dahoon holly, east palatka holly, eagleston holly, or silver buttonwood. Live oak trees will not be sustainable in the small planting areas or located too close to the building.
11. Identify sod locations on landscape plan including on the dedicated thoroughfares.
12. Recommend substituting cocoplum hedge at north side and east side of building for wild coffee, due to the shade conditions.
13. Recommend substituting sabal palms adjacent to building for thatch palms or paurotis palms.
14. Provide correct landscape data on landscape plan. Right of way trees
Oakland Park Blvd. 1:40 @ 121', 3 required, 4 provided. Powerline Road. 1:40 @ 90', 2 required, 3 provided. East perimeter trees 1:40 @ 26', 1 required, 1 provided. North perimeter trees 1:40 @ 32', 1 required, 1 provided. Parking lot interior trees, 1 per 10 spaces, 1 required
3 required, 9 provided.

**CITY OF OAKLAND PARK
DEVELOPMENT REVIEW COMMITTEE (DRC)
ENGINEERING DEPARTMENT COMMENTS**

CASE #: CD16-03CU	DRC MEETING DATE: COMMENT DATE: March 3rd, 2016
Project Name: 7-Eleven	
Address: 3100 NW 9 th Avenue, Oakland Park	
Subject: DRC Engineering Review	
<u>New Development General Comments</u> <ol style="list-style-type: none">1. Add note to the cover sheet: "The proposed work has been designed in accordance with all applicable Federal, State, County and City Codes and regulations having jurisdiction. If any discrepancies exist between the plans/specifications prepared by the designer and the City Code and/or the City standard details, the later shall govern or the most stringent."2. Add note to cover sheet: All vegetation, muck, and any deleterious material within the ROW limits of all streets and alleys and required off-street parking areas must be removed and replaced with clean fill material, free of stumps, large roots or other matter not suitable for inclusion in roadway fill.3. Add note to plans: Ownership and maintenance of the sanitary system by the City is limited to the mains from manhole to manhole and expressly excludes sewer lateral services. The sewer lateral service from gravity main into the building is to be maintained by the property owner.4. Add standard note to plans: The finish surface of base course and that of the wearing surface shall not vary more than .04 foot from the approved grading plan (template) and all areas shall be graded to drain. Any irregularities exceeding this limit shall be corrected.5. Add standard note to plans: The asphalt surface course shall not be placed until as-built drawing of the limerock base have been submitted and approved by the EOR and City Engineer or designee.6. Provide water quality calculations and preliminary flood routings to assure site will function with proposed surface water management system. Final storm water calculations including water quality, (10, 25, 100) year storm events (pre and post), pipe sizing calculations, etc. are required prior to issuance of Permit.7. Provide fire flow calculations as provided by a professional engineer prior to site plan approval.8. Fire hydrants shall be located within 200 feet of buildings9. Show all existing and proposed utilities and easements. (20 ft for sewer. Minimum 6 ft between water and sewer)	
Reviewed By: D. Akin Ozaydin, P.E. Project Manager dincero@oaklandparkfl.gov (954)-630-4343 City of Oakland Park	



5399 N. Dixie Highway, Suite 3 • Oakland Park, Florida 33334 • www.oaklandparkfl.org

**DEVELOPMENT REVIEW COMMITTEE
FIRE PREVENTION PLAN REVIEW**

Project Name: 7-ELEVEN

Review Date: 02/19/16

Reviewer: Pam Archacki, Fire Inspector

E-mail: Pama@oaklandparkfl.gov

Review Type: Fire Department

Review Number: 1

Phone: (954)630-4555

1. Provide flow test results on adjacent water line to determine fire flow. OPLDC 24-168 (c). Test is provided by City of Oakland Park Public Works Department. Please Contact Utilities Manager at 954-630-4441 for this service.



**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: 7-Eleven (Gas Station & Convenience Store) Conditional Use CD16-03CU
Review Date 2/19/16 **Review Type:** Building
Reviewer Thomas Schubert **Review Number** 1
E-mail thomass@oaklandparkfl.gov **Phone:** 954-630-4341

The following are Site Development Plan Review comment:

- 1. Provide impervious and pervious space calculation.**
2. Accessible parking spaces serving a particular building shall be located on the shortest safely accessible route of travel from adjacent parking to an accessible entrance. 208.3.1
3. The access aisle shall be striped white diagonally to designate it as no parking zone. Per Advisory 502.3.3
4. Parking spaces and access aisles shall be level with surface slopes not exceeding **1:48** inches in all directions. Indicate this on the plans at the accessible parking spaces. 502.
5. Each accessible parking space must be prominently outlined with blue paint to be clearly distinguishable as a parking space designated for persons who have disabilities. 502.6.1
6. Each accessible parking space must be posted with a permanent above-grade sign. The sign must meet the requirements of color and design approved by the department of transportation ([FTP 20-06](#) or [FTP 21-06](#)) ; also an additional sign must indicate the penalty for illegal use of the space ([FTP 22-06](#)). The height of the fine sign shall be a minimum of **5' feet** from grade to top of the fine sign. 502.6.1
7. The maximum slope of ramp shall be 1:12. Indicate this at all ramps. 405.2
8. Curb ramps shall have flared sides with a slope not exceeding a ration of 1:12. 406.3
9. A curb ramp shall have a detectable warning extending the full width and depth of the ramp (Not side slopes). Fig 406.08 **Only used by DOT.**
10. Detectable warning textures on exterior walking surfaces shall consist of exposed aggregate concrete, cushioned surfaces made of rubber or plastic, raised strips or

truncated domes. (Note: grooves to be used on interior only). The textures surfaces shall contrast with that of the surrounding surface. Detail the specific detectable warning texture that is to be used. 406.8 **Only used by DOT**

11. Ramps shall have level landing at the top and bottom of each ramp. Bottom landing shall project a minimum of **60 inches**, each ramp run shall meet the requirements of 405.7 & 405.7.3 of the 2010 Florida Building Code
12. If a ramp has a rise greater than 6 inches then it shall have handrails on both sides. Handrails are not required on curb ramps with flared sides. 405.8
Provide edge protection as per 405.9
13. Provide a detail of each ramp/curb ramp. Show edge protection for ramps without flared sides.
14. Show elevations per NAVD 88.

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**CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN
(CPTED)
3100 N Powerline Road
Case #CD16-CD-03CU
“7-Eleven (Gas Station & Convenience Store)”**

Crime Prevention (CPTED) is the proper design and effective use of a built environment, which can lead to a reduction in the fear and incidence of crime. There are four important CPTED design guidelines, including Natural Surveillance, Natural Access Control, Territorial Reinforcement, and Maintenance and Management.

The applicant, JSG 3100 LLC is requesting a Conditional Use and Site Development Plan for a new gas station. This will include 8 fueling stations and a convenience store which will be operated by 7-Eleven stores. This project will be a full redevelopment to include, environmental remediation. This plan already incorporates CPTED concepts, including the use of territorial reinforcement and limited ingress/egress. This business would be a welcomed asset to this area if additional CPTED concepts are included. Listed below are CPTED items to be incorporated.

1. Natural Surveillance: Nature Surveillance is the organization of physical features, activities and people in such a way as to maximize visibility. This concept of placing legitimate “eyes on the street” creates the perception of safety to legitimate users by creating a risk of detection/perceived risk to intruders and offenders. The use of windows is an effective use from interior looking out into the parking area and the fuel pumps. Keep all public areas well lit; a well coordinated lighting system is a very effective way of establishing a sense of security. A clear line of sight should be clear from both inside and outside in public and private spaces. This would also include the landscaping.

- Keep all the landscaping/hedges in front less than 3’. Criminals do not like to be seen or possibly recognized.
- An interior plan should be complete, where will the checkout/cash register be located? This should be in a clear line to the front door and overlooking the fuel pumps. This would also include the ATM.
- Keep window signage to the City’s standards, which would be 2 signs in each window not to exceed a total of 4. This signage should not block direct view to the outside. Keep all displays back 5’ of the windows and low enough to view the outside.
- Include a Photometric/ lighting plan to for the entire property. Higher foot-candles near the entrance of the store. There are areas that could be considered entrapment areas(the side/rear of the buildings)
- The Exit door on the North side should have window or a peephole.

2. Natural Access Control: Relies on the use of doors, fences, shrubs and other physical elements. Take the control out of the criminal hand. Properly located entrances and exits, landscaping and lighting can subtly direct both foot and vehicular traffic in ways that decreases a criminal opportunity. This development defines this concept quite well, through the East/ South ingress/Egress and landscaping.

- CPTED fencing needs to install on the North and (East property lines, if the concrete wall is being removed on the East Side) you have an area on the east (narrow 5’ strip) and the north side of the store that should be fenced with at least

- a 6' fencing. This general area attracts a large amount of Homeless and is an area for them to congregate and sleep. This would be an attractive nuisance.
- Incorporate an additional walkway (West side) from the sidewalk to the store.
- Include the exterior sidewalks on the plan.

3. Territorial Reinforcement: The user naturally protects an area that they feel are their own and respect the area of others. Clear boundaries between public to semi-public to private are achieved by using physical elements such as fences, pavement treatment, art, signs, good maintenance and Landscaping are ways to express ownership.

- Signage needs located throughout the property, i.e. CCTV is being utilized, in the store and near the fuel pumps.
- Include an additional walkway from the east sidewalk to the area. This can be as simple as stripping on the asphalt.
- Include the sidewalks on the site plan.
- The North exit door empties onto grass? If this the employee door to go the dumpster? If so, include a sidewalk either from the front or the rear to the dumpster area.
- What is the stripping from handicap spot to the south? Include in the legend.

4. Maintenance and Management: This is an important aspect, if the property is not maintained in pristine condition, crime and vandalism will soon follow. This relates to safety as well as pride. Ways to incorporate this into the site:

- All the landscaping must be maintained. The landscaping should provide a clear line of sight. The hedges on the NW exit needs maintained below 30" as this is a sight triangle. All trees should provide canopies at least 8' in height.
- The public areas should be policed at least twice a day. This would include the public sidewalks.

Additional Comments:

- This location does not have a current business tax license (only in apply status).
- The auto repair shop is not full service as stated; it is only minor Auto repair.
- Will the 7-Eleven stores be 24/7? If so they must comply with all aspects of Florida Statue 812.73 Convenience Business Security standards and the City of Oakland Park "After Midnight Permit". You can request a Robbery Apprehension Training from a Deputy from Oakland Park if you do not use the States Standards.
- Once opened, have no trespassing signs installed. Deputy Apollo will notify Management for the affidavit to be signed.
- The traffic flow for the pumps needs redesigned or Very visible wayfaring signage needs installed. This design possible cause accidents and disturbances between customers and thus a higher demand for calls for service.
- Include right turn only sign at the exit onto Powerline Road.

This security survey has been conducted as a public service of the Broward Sheriff's Office CPTED Deputy. The information contained herein is based on guidelines set by the Florida Crime Prevention Training Institute and the observations of the Individual Deputy conducting the

survey. This survey is intended to assist you in improving the overall level of security only. It is not intended to imply the existing security measures or proposed security measures are absolute or perfect.

All new construction or retrofits should comply with existing building codes, zoning laws and fire codes. Prior to installation or modifications the proper licenses and variances should be obtained.