



**DEVELOPMENT REVIEW COMMITTEE (DRC)
MEETING AGENDA
City Commission Chambers
3650 NE 12 Avenue
Thursday, July 21, 2016 at 10:00 A.M.**

DRC Members:

Regular Members

Kristen Nowicki, AICP, Senior Planner
Dincer Akin Ozaydin, P.E., Project Manager
Lisa Bishop Hill, Horticulture
Pamela Archacki, Fire Prevention

Debbie Wallace, Broward Sheriff's Office
Brad Ostroff, Project Manager/Community
Enhancement

Contributing Members

David Spence, Structural Chief Inspector
Antwan Armalin, Solid Waste Foreman
Kathleen Margoles, CRA Director

Rick Buckeye, AICP, Senior Planner
DJ Doody, City Attorney

ITEMS SCHEDULED:

- 1. Approval of Minutes:** **Minutes from June 23, 2016 DRC Meeting**
- 2. Public Comments**
- 3. Site Development Plan Review:** **Case CD16-12Z "Car Wash Renovations", Request for a Minor Site Plan Amendment to renovate an existing car wash located at 1060 E. Commercial Boulevard.**
- 4. Site Development Plan Review:** **Case CD16-13Z "Kozloski Triplex", Request for Site Development Plan Approval for a new, 3-unit residential building (triplex) to be located at 1302 NE 32nd Street.**

This meeting facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to the meeting. Please contact the City Clerk's Office by telephone: 954.630.4300 or via Fax: 954.630.4302 for information or assistance.

I, the undersigned authority, certify the above Notice of Meeting of the Development Review Committee is a true copy of the Notice posted on the outdoor bulletin board at the main entrance of City Hall, a place convenient and readily accessible to the general public at all times.

Posted: July 13, 2016

By: Kristen Nowicki, AICP



City Hall Commission Chambers
3650 NE 12 Avenue
Oakland Park, Florida 33334

DRAFT MINUTES
DEVELOPMENT REVIEW COMMITTEE (DRC)
JUNE 23, 2016 10:00 A.M.

The regular meeting of the Development Review Committee of the City of Oakland Park, Florida was called to order at 10:00 a.m. by Kristen Nowicki, Senior Planner.

ROLL CALL

Regular Members:

Kristen Nowicki, AICP, Senior Planner
D. Akin Ozaydin, P.E. Civil Engineer II
Lisa Hill, Code Enforcement Officer I
Kathleen Margoles, CRA Director
Brad Ostroff, Project Manager/Community Enhancement

Also Present:

Janet Sinclair, Recording Secretary

Contributing Members:

Antwan Armalin, Solid Waste Foreman

1. Approval of Minutes 6.9.16

Committee Member Ostroff moved to approve the minutes from June 9, 2016. Committee Member Ozaydin seconded the motion. The motion prevailed unanimously.

2. Public Comments

At this time any person will be allowed to speak on any matter that pertains to City business for a length of time not to exceed four minutes per person.

None

3. SITE DEVELOPMENT PLAN REVIEW:

Case CD16-10Z “The Lofts at Oakland Park”, Request for Site Development Plan Approval of 8 multi-family residential 1-bedroom lofts at 325-349 NW 40th Street.

Edgar Fontanez, Project Architect, representative of the applicant, presented the application to the committee, and the committee reviewed the plan.

ADJOURNMENT

There being no further business, the meeting was adjourned at 10:45 AM, by Kristen Nowicki, Senior Planner.

Janet Sinclair, Recording Secretary

ATTEST: _____
Kristen Nowicki, Senior Planner



DRC COMMENT PACKAGE

**CD16-12Z “Car Wash Renovations”
DRC Meeting Date: July 21, 2016**

CITY OF OAKLAND PARK

“A CITY ON THE MOVE”

**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
5399 North Dixie Highway, Oakland Park, Florida 33334
Office 954-630-4333 Fax 954-630-4353
www.oaklandparkfl.org**

Requirements for Resubmission of Plans to the DRC

Attached to this cover page are the Site Development Plan Review Comments for the referenced property from the members of the Development Review Committee.

To resubmit your plans and application for review the following must be provided. Please note that your plans and other documents will not be accepted without the following items in the following manner:

- _____ 1. **Appointment with a Planner** at (954) 630-4339 or by email KristenN@oaklandparkfl.gov to submit the application.
- _____ 2. **Application Fees of \$_____ (see fee table) for each submission to the DRC**, make checks payable to the City of Oakland Park.
- _____ 3. **Response and Referral Letter:** respond to each comment with a reference to the change on the site development plan sheet, must be attached to every plan set.
- _____ 4. **Site Development Plans and Surveys or Plats:** collated and stapled sets (24"x36"), 2 must be signed and sealed, all must be folded down to letter size and one (1) additional set must be an UNSTAPLED 11"x17" set.
 - _____ a. Surveys (at least 2 must be signed and sealed by a professional surveyor).
 - _____ b. Site Development Plans Must Consist of the following: copy of plat, site plan, landscape plan (all landscape plans must be signed and sealed by a registered landscape architect), floor plan, site lighting plan, building elevation plan, and schematic engineering where applicable and including all items listed in Section 24-164(B)(3). For Downtown Mixed-Use District, Federal Highway Business District, and Mixed-Use Land Development applications refer to the applicable ordinance for site development plan requirements.
- _____ 5. **Other:** calculations, plans, documents, surveys, studies, etc. could be required by a DRC member, attach a copy to every plan sheet. If signed and sealed, attach them to the minimum number of signed sealed sets and the remainder can be copies.

DRC Final Sign-Off Review Submission Requirements

Applications will not be accepted without the following items.

- _____ 1. **Fee of \$228.80.** Checks payable to the City of Oakland Park.
- _____ 2. **Response and Referral Letter** must be attached to every plan set.
- _____ 3. **Site Development Plans and Surveys:** collated and stapled sets (24"x36"), 3 must be signed and sealed, all must be folded down to letter size and one (1) additional must be an UNSTAPLED 11"x17" set.
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 - _____ c. Each plan set must have a copy of all additional attachments including but not limited to color renderings, legal documents and exhibits, planning studies and data reports, pictures, etc.



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**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: CD16-12Z Car Wash Renovations (Jeff's Express)

Review Date: July 6, 2016

Review Type: Planning & Zoning

Reviewer: Kristen Nowicki, AICP, Senior Planner

Review Number: 1

E-mail: KristenN@oaklandparkfl.gov

Phone: (954)630-4339

Application

1. Please submit the documentation from your pre-application meeting with FDOT regarding the curb cut changes. They usually provide applicants with a "pre-approval letter".

Site Development Plan Comments

2. How do the access gates (on 11th Avenue) work? Will they be open during business hours? Stacking of vehicles is required when gates are in place, therefore they must remain open during business hours. The plan shows them on one of the entry/exit points but not the other, yet it is written on there.
3. The following items are missing/incorrect from the Site Plan Data Table. Please add:
 - a. Water and Wastewater Provider (City of OP)
 - b. Please indicate the exact building height
 - c. The parking calculations – please use 1 per 300 instead of 1 per 200.
4. Note the surrounding zoning districts and current uses (include across Commercial and across RR Tracks as well)
5. While you are proposing changes to the curb cuts that increase the safety and reduce the conflict points, please indicate how far (in feet) to the next curb cut along both roadways.
6. Provide dimensions of the solid waste enclosure.
7. Indicate what eco-friendly features will be part of the new equipment and operations.
8. Overlay a basic floor plan of the building (where is the 'office' in reference to the car wash equipment, are there restrooms?).
9. Parking spaces shall be 9x18 at a minimum. The plan shows 10 feet wide. Is this to accommodate people who are vacuuming their cars with the doors open?
10. Where are the vacuum stations?
11. Will there be wheel stops in the parking stalls? If so, ensure that at least 16 feet is before the wheel stop.
12. Provide a landscape island (any more than 10 spaces requires an island).
13. Indicate that the required traffic markings (stop bars, arrows) will be in thermoplastic paint. You can also use thermoplastic for the parking space stripes (but not required).
14. Show the 30 foot sight triangle on the corner (from the property line).



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**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: CD16-12Z Jeff's Express Car Wash Improvements **Review Type:** LANDSCAPE
Review Date: JUNE 7TH 2016 **Review Number:** 1
Reviewer: LISA BISHOP HILL **Phone:** (954)630-4336

E-mail: LISAH@OAKLANDPARKFL.GOV

LANDSCAPE COMMENTS

1. SUBMIT AND OBTAIN TREE REMOVAL PERMIT FOR PROPOSED TREES TO BE REMOVED.
2. PLEASE INDICATE ON PLANS THE IMPLEMENTATION OF ROOT BARRIERS WHERE ROOTS MAY BE AN ISSUE AGAINST BUILDINGS, SIDEWALK; ROADWAY ETC. SHOW ROOT BARRIER DETAILS.
3. SHOW ON PLANS TRIPLE MONTGOMERY PALMS AT STAGARD HEIGHTS OF 10', 12', 14'.
4. PLEASE USE A SMALLER TREE SPECIES IN PLACE OF PROPOSED QUERCUS VIRGINIANA, CONOCARPUS ERECTUS AND BURSERA SIMARUBA. THESE TREES ARE TOO LARGE FOR PLANTING SITES.
5. PLEASE IDENTIFY ON PLANS TWO TREES ON S.E. PORTION OF PROPERTY.

**CITY OF OAKLAND PARK
DEVELOPMENT REVIEW COMMITTEE (DRC)
ENGINEERING DEPARTMENT COMMENTS**

CASE #:CD16-12Z

**DRC MEETING DATE:
COMMENT DATE:7/7/2016**

Project Name: Car Wash

Address:1060 E. Commercial Blvd, Oakland park, FL

Subject: DRC Review

New Development General Comments

1. Add note to the cover sheet: "The proposed work has been designed in accordance with all applicable Federal, State, County and City Codes and regulations having jurisdiction. If any discrepancies exist between the plans/specifications prepared by the designer and the City Code and/or the City standard details, the later shall govern or the most stringent."
2. Add note to cover sheet: All vegetation, muck, and any deleterious material within the ROW limits of all streets and alleys and required off-street parking areas must be removed and replaced with clean fill material, free of stumps, large roots or other matter not suitable for inclusion in roadway fill.
3. Add note to plans: Ownership and maintenance of the sanitary system by the City is limited to the mains from manhole to manhole and expressly excludes sewer lateral services. The sewer lateral service from gravity main into the building is to be maintained by the property owner.
4. Add standard note to plans: The finish surface of base course and that of the wearing surface shall not vary more than .04 foot from the approved grading plan (template) and all areas shall be graded to drain. Any irregularities exceeding this limit shall be corrected.
5. Add standard note to plans: The asphalt surface course shall not be placed until as-built drawing of the limerock base have been submitted and approved by the EOR and City Engineer or designee.
6. All applicable Federal, State, County, drainage district and City permits for construction of paving, grading, drainage, water, and sanitary sewer shall be obtained prior to construction.

Reviewed By: D. Akin Ozaydin

Project Manager, P.E. dincero@oaklandparkfl.gov 954-630-4343

City of Oakland Park



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**DEVELOPMENT REVIEW COMMITTEE
FIRE PREVENTION PLAN REVIEW**

Project Name: Car Wash Renovations
Review Date: 7/06/16
Reviewer: Pam Archacki, Fire Inspector
E-mail: Pama@oaklandparkfl.gov

Case #: CD16 - 12Z
Review Type: Fire Department
Review Number: 1
Phone: (954)630-4555

1. Knox box, Key switch, or Padlock will be required if gate is locked. NFPA 1 10.12

BROWARD SHERIFF'S OFFICE
OAKLAND PARK DISTRICT
5399 N DIXIE HIGHWAY
OAKLAND PARK, FL 33334



CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN
(CPTED)

Detective Debra Wallace FCPP
Debra_Wallace@sheriff.org
June 30, 2016

CD16-12Z

“Car Wash Renovations (aka Jeff’s Express)”
1060 E Commercial Blvd

Crime Prevention (CPTED) is the proper design and effective use of a built environment, which can lead to a reduction in the fear and incidence of crime. There are four important CPTED design guidelines, including Natural Surveillance, Natural Access Control, Territorial Reinforcement and Maintenance.

The applicant, Janet Aberman, is requesting a Minor Site Development Amendment of an existing car wash. Modernized facility equipment and additional landscape will be added. Listed below are CPTED concepts to incorporate into this plan.

1. Natural Surveillance: Nature surveillance is the organization of physical features, activities and people in a manner as to maximize visibility. Keep all public areas well lit; a well coordinated lighting system is a very effective way of establishing a sense of security. A clear line of sight should be clear from both inside and outside in public and private spaces. This would also include the landscaping. Criminals do not like to be seen or possibly recognized. This principle is based on the basis that criminal activity is generally reduced when an area is being monitored casually by others who are present or nearby.

- Property/unit addresses should be visible from the street at least 10”.
- Check the photometric plan on the FC, fluctuates for the same lighting.
- Include the hours of operation
- What is the process once a customer pulls into the lane ?.
- Properly maintain landscaping shrubs to no higher than 3’ and tree canopies no lower than 7’ to provide maximum viewing throughout the property.

2. Natural Access Control: Take the control out of the criminal hand. Criminals like settings where they can enter and leave without being observed. This objective is the perception of risk to the criminal and denies access to targets. Nature Access control is the physical guidance of people entering and exiting a space by the sensible placement of entrances, exits,

signs fencing, landscaping and lighting. Natural access control places users of space in areas where natural surveillance exists.

- What is the purpose of the 2-16' Access gate? Include a diagram/legend
- What pathway would the customer utilize once he pulls up? Do they pay from the car?
- Include a covered seating area for the customers
- Keep/maintain all other plants and trees canopies between 3-7'.
- Where are the public restrooms? Include an interior plan for review
- Install CPTED fencing instead of the 6' white plastic panel fencing

3. Territorial Reinforcement: This principle's purpose is to define public to private property. Legitimate occupants have a sense of ownership and will notice people who don't belong.

- Place benches and or other features that will attract customers and encourage sitting and/or congregating in the common area. This will keep the extra eyes on the area and discourage the possible criminal act to occur.
- Install the cocoplums all the way to edge of property line on the NE side(keep maintained at below 30")

4. Maintenance: This is an important aspect, if the property is not maintained in pristine condition crime and vandalism will soon follow. This relates to safety as well as pride. Ways to incorporate this into the site:

- All the landscaping must be maintained. Any plants within 3' of any roadway or walkway should be maintained at 2'.
- Police the area on a daily basis

Additional questions and or concerns.

- Have a trespass affidavit signed and on file with the Broward Sheriff's Office (Deputy Lauren Apollo)

This security survey has been conducted as a public service of the Broward Sheriff's Office CPTED Deputy. The information contained herein is based on guidelines set by the Florida Crime Prevention Training Institute and the observations of the Individual Deputy conducting the survey. This survey is intended to assist you in improving the overall level of security only. It is not intended to imply the existing security measures or proposed security measures are absolute or perfect.

All new construction or retrofits should comply with existing building codes, zoning laws and fire codes. Prior to installation or modifications the proper licenses and variances should be obtained.



DRC COMMENT PACKAGE

**CD16-13Z "Kozloski Triplex"
DRC Meeting Date: July 21, 2016**

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DRC Final Sign-Off Review Submission Requirements

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 - _____ c. **Each plan set must have a copy of all additional attachments including but not limited to color renderings, legal documents and exhibits, planning studies and data reports, pictures, etc.**

EXHIBIT "A"
CITY OF OAKLAND PARK
SITE AND DEVELOPMENT APPLICATION INFORMATION SHEET

PETITION NO.: #CD16-13Z/C "Kozloski Triplex" **DATE:** 6/30/2016

PETITIONER: Chad Kozloski

REQUEST: Site Development Plan and Concurrency Review & Approval

SECTION: SE 1/4 23-49-42 **SIZE:** 0.3 ± gross acres; 0.2 ± Net Acres

A. LOCATION: 1302 NE 13 Avenue

B. DENSITY PERMITTED: 3 DUs **REQUESTED:** 3 DUs

	Subject Property	North	East	South	West
C.EXISTING ZONING	RM-16	R-2	R-2	B-1	DMUD-Boulevard Commercial
D.EXISTING LAND USE	Vacant	Multi-Family	Multi-Family	Business/Commercial	Vacant - Private Community Facility
E.FUTURE LAND USE	LM-10	LM-10	LM-10	Commercial	LAC

F. DEVELOPMENT CONCURRENCY REVIEW: The planned use of the property will meet the Concurrency LOS standards.

1. **Potable Water Service** - Adequate and available upon upgrade of potable water distribution system.
2. **Wastewater Treatment & Disposal** - Adequate and available upon upgrade of sanitary sewer collection system.
3. **Solid Waste Disposal** -Adequate and available.
4. **Drainage** – First floor elevation must meet Concurrency LOS prior to the issuance of any Building Permits.
5. **Regional Transportation Network Capacity** – Adequate & Available. Transit Oriented Concurrency Impact fees to be determined by Broward County.
6. **Local Street & Road Access** – Adequate & Available
7. **Fire Flow/Protection** -Adequate and available upon the sign-off by the Fire Marshal.
8. **Parks & Recreation Facilities** –Local Park Impact Fee in the amount of \$4,500.00 to be paid prior to issuance of any Building Permits.
9. **School Sites and Buildings** – Student Station Fees per dwelling unit to be paid to the Broward County School Board per Tri-Party Agreement.

G. DEVELOPMENT CONSISTENCY REVIEW: The LM-10 category of the 2007 Future Land Use Map, as amended, can accommodate this use.



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**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: CD16-13Z Kozloski Triplex @ 13th Ave and 32nd St.

Review Date: July 5, 2016

Reviewer: Kristen Nowicki, AICP, Senior Planner

E-mail: KristenN@oaklandparkfl.gov

Review Type: Planning & Zoning

Review Number: 1

Phone: (954)630-4339

General Application Comments

1. This property was previously approved for 3 townhouses (pre-recession) and required a variance for the backout parking (24-80(H)). The variance was approved, as was the site plan, and both were renewed multiple times (for lack of acquiring build permits within 18 months) but ultimately the last renewal has expired in 2013. The conditions requiring the variance still apply (see code section, below, because more than 65% of the block does not already have backout parking.) Therefore a new variance needs to be sought in order for the development to have parking that backs out onto NE 13th Street. An alternative to seeking the variance, or if the variance is not approved, would be to reduce this building to a duplex (each with larger floor area).

24-80 (H) *Backout parking.* Backout parking facilities are permitted in R-1 and R-2 Zoning Districts and RM-16 and RM-25 Zoning Districts where utilized for single-family and duplex structures; and in RM-16, RM-25, NB, B-1, B-2, and I-1 Zoning Districts where more than sixty-five (65) percent of the lineal footage of the block length consists of businesses or multiple dwellings existing with backout parking facilities. Backout parking facilities are prohibited in all other zoning districts.

Site Development Plan Comments

On the Site Plan Data Table, the following items are missing or are in need of a change:

2. Current & Proposed Zoning – it is only RM-16, please remove the reference to “downtown district”; this site is not in the Downtown.
3. Water and Wastewater provider is not indicated (both are City of OP).
4. Site Area: Show the Net and Gross acreage in both square feet and acres. The gross area is measured out to the centerline of the adjacent right of way. See the attached “site information sheet”.

The following Site Plan features (graphically indicated) are missing or incorrect:

5. Zoning designation and current use of adjacent properties – to the north, it is not a single family use, it is a duplex. To the east, it is only R-2, remove the reference to RM-16 and note that it is a single family use. To the west, the zoning should say DMUD (Boulevard Commercial Sub Area), not 1B-1. To the south, it is B-1, not 1B-1.

6. Adjacent rights-of-way to opposite property lines (indicate all nearby curb cuts and driveways)
7. Outline of buildings on adjacent lots (general outline from a google aerial is acceptable)
8. Indicate any energy conservation methods (in notes, if applicable)
9. Indicate any CPTED principles incorporated (in notes, if applicable)
10. Indicate how the common areas will be maintained.

Site Detail Comments

11. Show curbing on the site plan.
12. Provide a detail of the light fixtures that are shown on the building.
13. Draw in the stripes between the parking spaces. (4 inch paint or alternate paver color)



**ENGINEERING & COMMUNITY DEVELOPMENT DEPARTMENT
SITE DEVELOPMENT PLAN REVIEW**

Project Name: CD16-13Z
Review Date: June 30 2016
Reviewer: Lisa Bishop Hill
E-mail: lisah@oaklandparkfl.gov

Review Type: Landscape
Review Number: 1
Phone: (954)630-4336

Landscaping requirements

1. A tree removal/relocation permit is required prior to removal or relocation of any tree with a caliper of 4 inches or more.
2. Show all sight triangles on landscape plans and remove any trees that are in the triangles.
3. Show use of bubblers at every newly planted tree.
4. A plumbing permit shall be obtained prior to installation of irrigation.
5. Provide a certification letter from the landscape architect certifying that the landscape was installed according to approved plans and specifications before the final landscape inspection.
6. Any tree or palm that grows to over 30' in height shall be planted at least 30' away from overhead lines. Please relocate the live oak and gumbo limbo that are in close proximity to the overhead lines on 32nd Ave.
7. Please show all overhead and underground utilities on landscape plans.
8. Root barriers shall be installed when it is necessary due to site limitations against any hardscape. Please provide a root barrier detail showing the installation detail and show on plans where root barriers will be used.

9. Trees that are located in the right of way are required to be at least 7 ½ feet away from right of way edge and are required to be approved by obtaining an engineering permit for planting in the swale.
10. Relocate the white Geiger tree located on the S.E. portion of property at least 5' away from building.
11. Show on all planting details that the top 1" to 2" of root ball is exposed above final grade.
12. Sable palms located in the rear of property to be centered in the landscape strip with 10' of clear trunk to assure roof clearance. Suggested use of thatch palms instead of sables.
13. Submit landscape plans using 1:20 scale.



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**DEVELOPMENT REVIEW COMMITTEE
FIRE PREVENTION PLAN REVIEW**

Project Name: Kozloski Triplex

Review Date: 7/01/16

Reviewer: Pam Archacki, Fire Inspector

E-mail: Pama@oaklandparkfl.gov

Case#: CD16 - 13Z

Review Type: Fire Department

Review Number: 1

Phone: (954)630-4555

1. Provide flow test results on adjacent water line to determine fire flow. OPLDC 24-168 (c). Test is provided by City of Oakland Park Public Works Department. Please contact the Utilities Manager at 954-630-4441 for this service.
2. Hydrants shall be provided to insure that the maximum distance between a hydrant and all portions of a structure is 300 ft. In addition, the maximum distance between hydrants and vehicles shall not exceed 400 ft. Distance shall be measured only in directions and paths where a fire hose can be laid. OPWPS
3. A fire hose shall not be laid across any street having a width greater than 24' of pavement. OPWPS

**CITY OF OAKLAND PARK
DEVELOPMENT REVIEW COMMITTEE (DRC)
ENGINEERING DEPARTMENT COMMENTS**

CASE #:CD16-13Z

**DRC MEETING DATE:
COMMENT DATE:7/7/2016**

Project Name: Kozloski Triplex

Address:1302 N.E. 32ND street, Oakland park, FL

Subject: DRC Review

New Development General Comments

1. Add note to the cover sheet: "The proposed work has been designed in accordance with all applicable Federal, State, County and City Codes and regulations having jurisdiction. If any discrepancies exist between the plans/specifications prepared by the designer and the City Code and/or the City standard details, the later shall govern or the most stringent."
2. Add note to cover sheet: All vegetation, muck, and any deleterious material within the ROW limits of all streets and alleys and required off-street parking areas must be removed and replaced with clean fill material, free of stumps, large roots or other matter not suitable for inclusion in roadway fill.
3. Add note to plans: Ownership and maintenance of the sanitary system by the City is limited to the mains from manhole to manhole and expressly excludes sewer lateral services. The sewer lateral service from gravity main into the building is to be maintained by the property owner.
4. Add standard note to plans: The finish surface of base course and that of the wearing surface shall not vary more than .04 foot from the approved grading plan (template) and all areas shall be graded to drain. Any irregularities exceeding this limit shall be corrected.
5. Add standard note to plans: The asphalt surface course shall not be placed until as-built drawing of the limerock base have been submitted and approved by the EOR and City Engineer or designee.
6. All applicable Federal, State, County, drainage district and City permits for construction of paving, grading, drainage, water, and sanitary sewer shall be obtained prior to construction.
7. Provide water quality calculations and preliminary flood routings to assure site will function with proposed surface water management system. Final storm water calculations including water quality, (10 year 1 day, 25 year 3 day, 100 year 3 day) storm events (pre and post), pipe sizing calculations, etc. are required prior to issuance of Permit. Drainage pipes materials on Private property shall be RCP, CAP, HOPE or CIP. Minimum size of proposed drainage pipe shall be 15 inches.
8. Fire hydrants shall be located within 300 feet of the building and 200 feet of all other structures. If there is no existing fire hydrant located within the required distance, please add a fire hydrant.
9. Provide pedestrian sidewalks for new construction sites (at least 4 feet wide on-site, and at least 5 feet wide off-site, at least 4" thick, except 6" thick over driveways, concrete strength 3000 psi).
10. Water meters and backflow devices must be located within landscaped areas and provide the sizes and quantities of the water meters.
11. Show existing water and sewer lines and connection points.

Reviewed By: D. Akin Ozaydin

Project Manager, P.E. dincero@oaklandparkfl.gov 954-630-4343

City of Oakland Park

BROWARD SHERIFF'S OFFICE
OAKLAND PARK DISTRICT
5399 N DIXIE HIGHWAY
OAKLAND PARK, FL 33334



CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN
(CPTED)

Detective Debra Wallace FCPP

Debra_Wallace@sheriff.org

June 30, 2016

CD16-13Z

“Kozloski Triplex”

Crime Prevention (CPTED) is the proper design and effective use of a built environment, which can lead to a reduction in the fear and incidence of crime. There are four important CPTED design guidelines, including Natural Surveillance, Natural Access Control, Territorial Reinforcement and Maintenance.

The applicant, Kozloski, is requesting a Site Development Plan approval of a 3-unit residential building on a vacant parcel located at the SE corner of NE 32 St and NE 13th Ave. The project will have 3- 2 bedroom units with a shared laundry space. Listed below are CPTED concepts to incorporate into this plan.

1. Natural Surveillance: Nature surveillance is the organization of physical features, activities and people in a manner as to maximize visibility. Keep all public areas well lit; a well coordinated lighting system is a very effective way of establishing a sense of security. A clear line of sight should be clear from both inside and outside in public and private spaces. This would also include the landscaping. Criminals do not like to be seen or possibly recognized. This principle is based on the basis that criminal activity is generally reduced when an area is being monitored casually by others who are present or nearby.

- Property/unit addresses should be visible from the street.
- Include a Photometric/ lighting plan on the complete property. .
- Include a legend for the doors and windows
- Place the window in the laundry room facing the parking area.
- Properly maintain landscaping shrubs to no higher than 3' and tree canopies no lower than 7' to provide maximum viewing to and from inside the house and provide no hiding spaces.

2. Natural Access Control: Take the control out of the criminal hand. Criminals like settings where they can enter and leave without being observed. This objective is the perception of risk to the criminal and denies access to targets. Nature Access control is the physical guidance of people entering and exiting a space by the sensible placement of entrances, exits,

signs fencing, landscaping and lighting. Natural access control places users of space in areas where natural surveillance exists.

- Include window inserts on the doors or install a 190 degree peep hole.
 - Use hostile vegetation under the window areas. I.e. thorny plants and or vines.
 - Keep/maintain all other plants and trees canopies between 3-7'.
- 3. Territorial Reinforcement:** This principle's purpose is to define public to private property. Legitimate occupants have a sense of ownership and will notice people who don't belong.
- Place benches and or other features that will attract residents and encourage sitting and/or congregating in the common area. This will keep the extra eyes on the area and discourage the possible criminal act to occur
- 4. Maintenance:** This is an important aspect, if the property is not maintained in pristine condition crime and vandalism will soon follow. This relates to safety as well as pride. Ways to incorporate this into the site:
- All the landscaping must be maintained. Any plants within 3' of any roadway or walkway should be maintained at 2'.

Additional questions and or concerns.

- **PARKING:** This is a major concern for the BSO and the City and WILL be one for this project. Additional parking spots need to be incorporated into this plan. The one extra spot is not sufficient. This has been a MAJOR issue throughout the City for new developments who do not provide sufficient parking, beyond the required by Ordinance (i.e. Cambridge). Guest and additional residents of each unit will park on the street causing traffic hazards.
- Garbage cans/recycle bins need to be kept in an area where residents can easily access them. This is a poor design and the resident will not utilize the spot where it was built which in turn will increase call for service to the City.
- The landscape plan and the legend do not match, needs corrected for a proper review.

This security survey has been conducted as a public service of the Broward Sheriff's Office CPTED Deputy. The information contained herein is based on guidelines set by the Florida Crime Prevention Training Institute and the observations of the Individual Deputy conducting the survey. This survey is intended to assist you in improving the overall level of security only. It is not intended to imply the existing security measures or proposed security measures are absolute or perfect.

All new construction or retrofits should comply with existing building codes, zoning laws and fire codes. Prior to installation or modifications the proper licenses and variances should be obtained.

DEVELOPMENT PERMIT APPLICATION

The type of development permits for which this form is used and a fee schedule are listed on page 5. Application requirements and required separate attachments for each request type are on page 8. **Prior to the application submission contact the Planning and Zoning Division for an appointment at 954-630-4339.**

STAFF USE ONLY	
Date Submitted: <u>May 26, 2016</u>	Application No. <u>CD16-12Z</u>
Project Name: <u>Jeff's Express (Car Wash Improvements)</u>	
Folio No(s):	

GENERAL DATA – Please type or print information - COMPLETE ALL SECTIONS	
Address of property: <u>1060 East Commercial Blvd Oakland Park FL, 33334</u>	
Legal Description: (or attach description)	
Gross Acres: <u>23,294</u>	Net Acres: <u>825,294</u>
Title to this Property has been held since:	Existing Zoning: <u>B2</u>
Existing Use of Property (include no. and sq. ft. of existing structure(s): <u>Car Wash</u>	
Proposed Use of Property (include no. and sq. ft. of proposed structure(s): <u>Car Wash</u>	
Section, Township, Range: <u>Section 14, Township 49 South, Range 42 east</u>	
Type of Development Permit(s) requested: <u>Minor Amendment</u>	

OWNER/APPLICANT INFORMATION			
(The undersigned has reviewed all instructions concerning the application and understands the application must be complete and accurate prior to staff review or Public Hearing(s). <u>Attach proof of ownership and owner's authorization for representative.</u>			
Name of Property Owners: <u>JANET ABERMAN</u>		Title:	
Address: <u>1060 EAST COMMERCIAL BLD</u>			
City: <u>OAKLAND PK</u>	State: <u>FLORIDA</u>	Zip Code: <u>33334</u>	
Phone: <u>954-655-4855</u>	Fax:		
Signature: <u>[Signature]</u>	Signature:		
Email Address:	Email Address:		
Name of Applicant's Representative: <u>Jeff Fazio</u>			
Address: <u>11264 NW 72nd PL</u>			
City: <u>Parkland</u>	State: <u>FL</u>	Zip Code: <u>33067</u>	
Office Phone:	Cell Phone: <u>954-461-9251</u>	Fax:	
Email Address: <u>Jeff@Jeffsexpress.net</u>			

May 19, 2016

Engineering & Community Development Department
5399 North Dixie Highway
Oakland Park, FL 33334

Re: Owners Authorization for representation

To Kristen Nowicki,

I Janet Aberman, owner of the property located at 1060 East Commercial Blvd Oakland Park, 33334 EEMABA dba Sudsy Car Wash, give Jeff Fazio of Fazio Enterprises the right to submit the DRC application as there is a contract to purchase the property in place.

Thank you.



Janet Aberman

Prepared by:
B.J. Reeves, Esquire
1779 North University Drive, No. 202
Pembroke Pines, Florida 33024

Parcel ID No. 19214 00 03710

QUIT CLAIM DEED

Executed this December 12/15/12 2012, by JAN-TIP, INC., a Florida corp., Grantor; to

KEMABA, LLC, a Florida limited liability company, whose post office address is 1440 Coral Ridge Drive, Suite 123, Coral Springs, Florida 33071, Grantee.

That the grantor, for and in consideration of the sum of \$10.00, in hand paid by the grantees, the receipt whereof is hereby acknowledged, does hereby remise, release, and quit claim to the grantees forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land situate, lying and being in the County of Broward, State of Florida:

Legal Description attached as Exhibit "A".

to have and to hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity to the only proper use, benefit and behoof of the grantee forever.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first written.

Signed, sealed and delivered in the presence of:

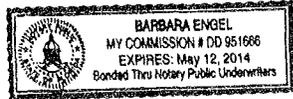
Barbara Engel
Witness
Printed Name: Barbara Engel
Diane Poole
Witness
Printed Name: Diane Poole

JAN-TIP, INC.
J. Rimland
By: T. RIMLAND, President
8236 PINE DRIVE
TAMARAC, FL 33321

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this December 15, 2012, by T. Rimland, as T. RIMLAND, as President of JAN-TIP, INC., a Florida corp., who has produced as identification and who did/did not take an oath.

Barbara Engel
Notary Public



②

DESCRIPTION

A parcel of land in the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 14, Township 49 South, Range 42 East, Broward County, Florida, being more particularly described as follows:

Commencing at the Northeast corner of PELHAM INDUSTRIAL ADDITION, as recorded in Plat Book 63, Page 50, of the Public Records of Broward County, Florida; thence Northerly, along the West Right-of-Way line of the Florida East Coast Railway, a distance of 615.89 feet, more or less, to a point on the South Right-of-Way line of NE 50th Street; thence Westerly, along said South Right-of-Way line a distance of 96.58 feet to the Point of Beginning of this description; thence continue Westerly, along said South Right-of-Way line, a distance of 97.55 feet, to a point of 25.0 feet East of the West line of said NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$, Section 14; thence Southerly, along a line 25.0 feet East of, and parallel to the said West line, of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 14; thence Easterly, making an included angle of 90° 23' 26", a distance of 96.58 feet; thence Northerly, along a line 96.58 feet West of and parallel to the said West Right-of-Way line of the Florida East Coast Railway, a distance of 240.21 feet to the Point of Beginning. Said lands situate, lying and being in Broward County, Florida.



**CITY OF OAKLAND PARK
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(954) 561-6253**

N^o 1213

CUSTOMER RECEIPT

NAME: Jeff's Express
11264 NW 72nd Pl. DATE: 6/6/16
ADDRESS: Parkland, FL 33076

CASHIER KEY	DESCRIPTION OF FEE	CASE NUMBER	AMOUNT
043	Rezoning	# _____	\$ _____
043	Conditional Use	# _____	\$ _____
043	Use Approval	# _____	\$ _____
043	Reserve Units/Flex Acres	# _____	\$ _____
043	Planned Development (PUD & PCC)	# _____	\$ _____
043	Comprehensive/Land Use Plan Amendment	# _____	\$ _____
043	Subdivision/Resubdivision	# _____	\$ _____
043	Abandonment of Public Way	# _____	\$ _____
043	Unlisted Use or Text Amendment	# _____	\$ _____
043	Voluntary Annexation	# _____	\$ _____
022	Public Hearing	# _____	\$ _____
024	Site Plan Review	# <u>CD16-12Z</u>	\$ <u>208.00</u>
177	Concurrency Review	# _____	\$ _____
		SUBTOTAL:	\$ _____
025	Training and Certification Fee		\$ <u>20.80</u>
026	Publications		\$ _____
026	Photo-Microfilm Copies		\$ _____
026	Miscellaneous: _____		\$ _____
		TOTAL CHARGES:	\$ <u>228.80</u>

PAID
JUN 06 2016
City of Oakland Park
Building and Permitting Division

check #
1250

Planning: [Signature] Cashier: _____

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

- ALL WORK AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF THE LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER EXISTING SITE IMPROVEMENTS, FEATURES AND CONDITIONS SHOWN ON THE DRAWINGS WERE OBTAINED FROM THE SURVEY PREPARED BY STONER & ASSOCIATES, INC.
- EXISTING ELEVATIONS ARE BASED ON NAVD 88. BENCHMARKS USED ARE THOSE IDENTIFIED ON THE TOPOGRAPHIC BOUNDARY SURVEY.
- PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADES.
- EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
- EXISTING STRUCTURES, TREES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL THESE OR DELIVER SAID PUBLIC PROPERTY TO THE RESPECTIVE OWNER.
- THE CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
- ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
- THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. SHOP DRAWINGS

PRIOR TO FABRICATION OR CONSTRUCTION, SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER OF RECORD FOR APPROVAL OF THE FOLLOWING ITEMS:

- DRAINAGE:**
 - DRAINAGE INLETS, CATCH BASINS, MANHOLES AND STRUCTURES, INCLUDING TOP/BOTTOM SLABS, FRAMES, GRATES, RIMS AND POLLUTANT RETARDANT BAFFLES
 - TRENCH OR SLOT DRAINS INCLUDING CHANNELS, ANCHORS, GRATES, OUTLETS, ETC.
 - DRAINAGE WELL STRUCTURES, CASING AND GRATES
 - DRAINAGE PIPE AND FITTINGS
 - CLEANOUTS
 - EXFILTRATION TRENCH FILTER FABRIC
- WATER DISTRIBUTION**
 - PIPE AND FITTINGS
 - VALVES AND AIR RELEASE VALVES
 - FIRE HYDRANTS
 - BACKFLOW PREVENTION DEVICES
 - METER VAULTS
 - TAPPING SLEEVES AND CORPORATION STOPS
- SANITARY SEWER:**
 - MANHOLES, INCLUDING STRUCTURES, TOP/BOTTOM SLABS, FRAMES AND RIMS
 - PIPE AND FITTINGS
 - CLEANOUTS
 - VALVES AND AIR RELEASE VALVES
 - PUMP STATION AND ALL RELATED EQUIPMENT
- ASPHALT MIX**
 - SUBGRADE AND LIMEROCK BASE SECTIONS TO BE INCLUDED

III. PRECONSTRUCTION RESPONSIBILITIES

- THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY AND ALL INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED.
- TWO (2) BUSINESS DAYS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITY COMPANIES WHICH MIGHT BE AFFECTED.
- UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A TRAFFIC CONTROL PLAN THAT ADDRESSES THE MAINTENANCE OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC IN A SAFE AND REASONABLY ADEQUATE MANNER AROUND THE WORK SITE. PRIOR TO COMMENCING WITH ANY ACTIVITIES AT THE JOB SITE, THE CONTRACTOR SHALL OBTAIN APPROVAL FOR THE TRAFFIC CONTROL PLAN FROM ALL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT.
- THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
- THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

IV. INSPECTION AND TESTING

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER OF RECORD VIA TELEPHONE AND EMAIL AT LEAST TWO BUSINESS DAYS PRIOR TO THE FOLLOWING:
 - FINISHED PAVEMENT - PRIOR TO PLACEMENT OF ANY FINISHED ASPHALT, CONCRETE AND/OR BRICK PAVING.
 - SUBSTANTIAL COMPLETION
 - FINAL INSPECTION

REGARDLESS OF WHETHER OR NOT THE ABOVE ARE WITNESSED BY OTHERS, IF THE CONTRACTOR FAILS TO NOTIFY THE ENGINEER OF RECORD AT LEAST 2 BUSINESS DAYS PRIOR AND THESE ARE COMPLETED WITHOUT THE ENGINEER OF RECORD PRESENT, THE CONTRACTOR SHALL AGAIN EXPOSE THE WORK AND REPEAT ALL TESTS AS REQUESTED BY THE ENGINEER OF RECORD AT NO ADDITIONAL COST TO THE CONTRACTOR. OTHERWISE, THE ENGINEER OF RECORD RESERVES THE RIGHT TO REFUSE ISSUANCE OF ANY CERTIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND CALLING FOR ANY TESTING AND INSPECTIONS REQUIRED BY CITY, COUNTY, STATE AND FEDERAL AGENCIES HAVING JURISDICTION OVER THE CONTRACTOR'S WORK.

V. TEMPORARY FACILITIES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO ADJACENT PROPERTIES AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING DRAINAGE INLETS, DRAINAGE DITCHES AND WATER BODIES ABUTTING THE PROJECT SHALL BE PROTECTED FROM DEBRIS, SILT AND SOIL EROSION (REFER TO EROSION CONTROL PLAN AND DETAILS). EROSION CONTROL MEASURES SHALL BE CAREFULLY MAINTAINED UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D., CITY OF OAKLAND PARK, AND FDOT.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED/SHELDED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN AND BARRICADED/SHELDED DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF OAKLAND PARK ENGINEERING DEPARTMENT, AND/OR FDOT.

VI. PROJECT CLOSE OUT:

- DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
- THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS AS DETERMINED BY THE ENGINEER.
- UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
- WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION AS DETERMINED BY THE ENGINEER.
- ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENVIRONMENTAL ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
- ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY EXISTING FACILITIES NOT FOUND TO BE EXACTLY AS SHOWN ON THE PLANS, AND ANY NEW FACILITIES NOT BUILT EXACTLY ACCORDING TO PLANS.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, DRAINAGE STRUCTURES, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.
- CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

- EXISTING CATCH BASIN GRATES AND MANHOLE RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES, AS REQUIRED.
- ALL ONSITE STORM DRAINAGE MATERIALS AND INSTALLATION SHALL CONFORM TO THE APPLICABLE CITY OF OAKLAND PARK ENGINEERING AND FDOT SPECIFICATIONS.
- ALL PRECAST CONCRETE DRAINAGE CATCH BASINS AND MANHOLES SHALL BE AS MANUFACTURED BY U.S. PRECAST CORPORATION OR APPROVED EQUAL.
- ALL METAL FRAMES, GRATES AND RIMS FOR PRECAST CONCRETE STORM DRAINAGE MANHOLES AND CATCH BASINS SHALL BE AS MANUFACTURED BY U.S. FOUNDRY OR APPROVED EQUAL.
- PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

M:\019 Jeff's Express\019-02_1060 E Commercial Blvd\CAO-C-101-GENERAL NOTES.dwg
 Plotted By: Erik, L\youl.c-101-GENERAL NOTES - May 25, 2016 11:53:52pm
 This document, together with the contracts and design presented herein, is an instrument of service, in an instrument of service, is intended only for the specific purpose and dates for which it was prepared. None of the information contained herein shall be without liability to Kern Engineering, Inc.

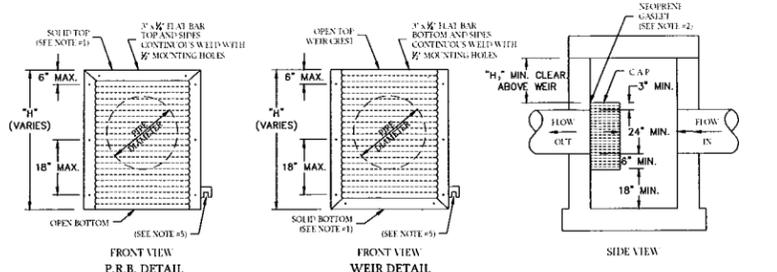
LICENSED PROFESSIONAL ERIK J. WILCZEK FL LICENSE NUMBER 58216	
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SCALE AS NOTED	DESIGNED BY TW
DRAWN BY TW	CHECKED BY EW
REVISIONS NO. DATE BY	
PROJECT # 019-02	
DATE 04-15-2016	
SCALE AS NOTED	
DESIGNED BY TW	
DRAWN BY TW	
CHECKED BY EW	
REVISIONS NO. DATE BY	
PROJECT # 019-02	
DATE 04-15-2016	
SCALE AS NOTED	
DESIGNED BY TW	
DRAWN BY TW	
CHECKED BY EW	
REVISIONS NO. DATE BY	

JEFF'S EXPRESS
1060 E COMMERCIAL BLVD
 OAKLAND PARK
 BROWARD COUNTY, FL

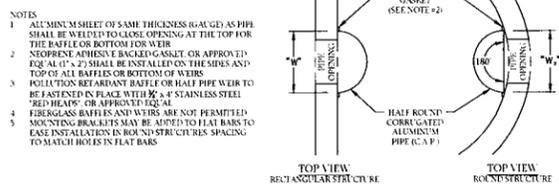
7280 W PALMETTO PARK RD., SUITE 302, BOCA RATON, FL 33483
 PHONE: 561-395-6700
 CAP1195

GENERAL NOTES

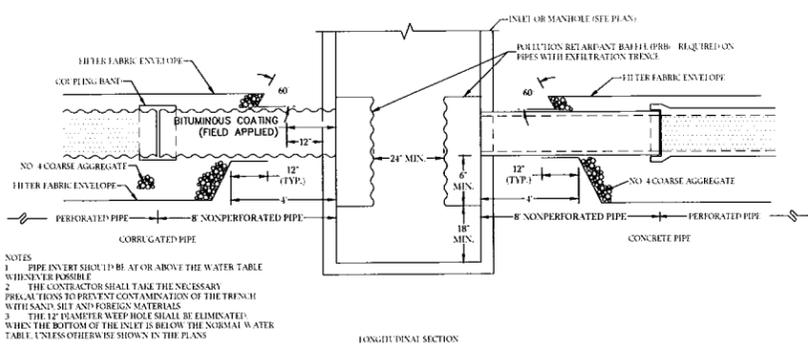
SHEET NUMBER
C-101



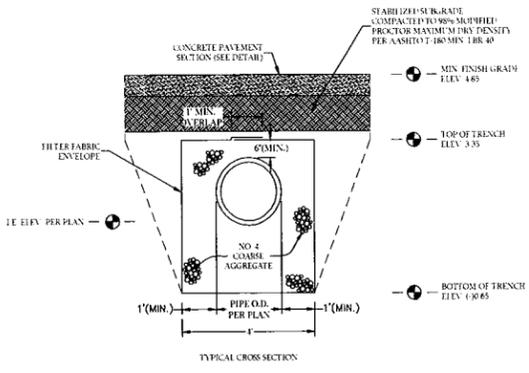
PIPE DIAM	W (IN)	W ₁ (IN)	T (GAUGE)	H ₁ (IN)
12"	21"	21"	16	6
18"	27"	27"	16	7
24"	33"	33"	16	8
30"	39"	39"	16	10
36"	45"	42"	14	13
42"	51"	48"	14	16
48"	57"	54"	14	20
54"	63"	60"	14	23
60"	69"	66"	14	26



POLLUTION RETARDANT BAFFLE (PRB) AND WEIR DETAILS
N.T.S.



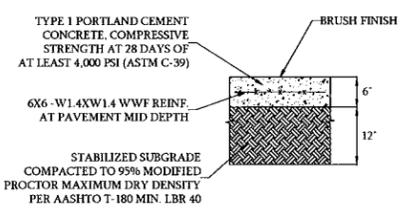
- NOTES:
 1. PIPE INVERT SHOULD BE AT OR ABOVE THE WATER TABLE WHENEVER POSSIBLE.
 2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
 3. THE 12\"/>



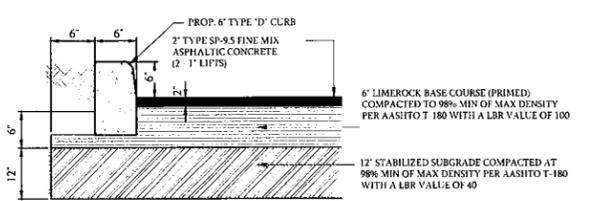
EXFILTRATION TRENCH
N.T.S.

PAVING GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
4. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
5. ALL MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6\"/>
- 6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- 7. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 9. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- 10. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 11. CONTRACTOR TO REVIEW CITY OF OAKLAND PARK AND BROWARD COUNTY DEWATERING PERMIT REQUIREMENTS.
- 12. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- 13. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- 14. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- 15. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 16. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 17. ELEVATIONS SHOWN AT CURBLINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
- 18. POLLUTION RETARDANT BAFFLES AND SUMPS REQUIRED FOR BASINS SERVING EXFILTRATION TRENCH.

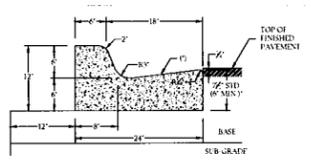


HEAVY DUTY CONCRETE
N.T.S.



STANDARD PAVEMENT DETAIL
N.T.S.

NOTE:
 BITUMINOUS ASPHALT COARSE MAY BE INSTALLED IN TWO SEPARATE 1\"/>



TYPE 'F' CURB AND GUTTER
N.T.S.

* WHEN USED ON HIGH SIDE OF ROADWAY, THE CROSS SLOPE OF THE CURB SHALL BE 1\"/>

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PROJECT #
019-02

DATE
04-15-2016

SCALE AS NOTED

DESIGNED BY TZ

DRAWN BY TZ

CHECKED BY EW

LICENSED PROFESSIONAL
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Printed By: Erik Layou, E.C.-501 EROSION CONTROL NOTES May 25, 2016 11:54:52am M:\018\JEFF'S EXPRESS\019-09_1060_E.Commercial_Bldg\CAD\C-501_SWPP NOTES.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, and no other purpose or client for which it was prepared. None of our engineer or architect shall be without liability to them.

BEST MANAGEMENT PRACTICES (BMPs):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE CITY OF OAKLAND PARK LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 400-4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 82-R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
- B. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
- C. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUE IS SHOWN TO BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED TECHNIQUES. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

- A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1. FUEL SPILLS AND LEAKS PREVENTION
 - 2. PREVENT REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
 - 3. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
 - 4. PROPER OUTDOOR LOADING UNLOADING OF MATERIALS
 - 5. PREVENT REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
 - 6. SOLID WASTE MANAGEMENT
 - 7. HAZARDOUS WASTE MANAGEMENT
 - 8. CONCRETE WASTE MANAGEMENT
 - 9. SAND/SLURRY WASTE MANAGEMENT
 - 10. STRUCTURE CONSTRUCTION AND PAINTING
 - 11. SPILL PREVENTION AND CONTROL
 - 12. CONTAMINATED SOIL MANAGEMENT
 - 13. SANITARY SEPTIC WASTE MANAGEMENT
 - 14. SOIL EROSION CONTROL
 - 15. STORM WATER TURBIDITY MANAGEMENT

ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

- D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERMIT EROSION CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERMITTER CONTROL MEASURES IN PLACE. PERMITTER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.
- H. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVES IN. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.
- I. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- J. TOPSOIL CANNOT BE STOCKPILED INSIDE THE PROPERTY FOR REUSE.
- K. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMPs IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES:

- A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONNECTION WITH THE STABILIZATION OF THE SITE.
- B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC) TO PREVENT EROSION.
- D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- E. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 - 1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - 2. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
 - 3. A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS.
- F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
- G. SLOPES OF BANKS OF RETENTION DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS APPLICABLE.
- H. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- I. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW, ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.
- J. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION CONTROL PRACTICES:

- A. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 - 1. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 - 2. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTIGUOUSLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR ERSEEDDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUND COVER (SEE TEMPORARY STABILIZATION PRACTICES FOR DETAILS).
 - 3. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FIBER SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.
- B. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

SPILL CONTROL PRACTICES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
- B. THE FOLLOWING CLEANUP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOBS, RAGS, BROOMS, DUST PANS, SAND, SAW DUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
- C. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- D. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
- E. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
- F. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
- G. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
- H. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OPERATES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

STABILIZATION PRACTICES:

- A. TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER TO SEEDING, EACH ACRE SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.
- B. PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.65A, 1.65B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH ACRE SHALL BE MULCHED IMMEDIATELY.
- C. STABILIZATION WILL BE INITIATED ON ALL DISTURBED AREAS WITHIN 14 DAYS OF WORK CEASING, UNLESS CONSTRUCTION ACTIVITY WILL RESUME IN THAT AREA WITHIN 21 DAYS AFTER WORK STOPPAGE. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.
- D. CONTRACTOR TO ENSURE THAT EXISTING VEGETATION ON OR ADJACENT TO THE PROPOSED SITE IS PRESERVED AND DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
- E. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

STRUCTURAL PRACTICES:

- A. EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUNOFF AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.
- B. SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

WASTE DISPOSAL:

- A. WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURED LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON-SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
- B. HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
- C. SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
- D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

OFFSITE TRACKING:

- A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARP/LIN.
- B. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DRAINS, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- C. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
- D. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- E. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

MAINTENANCE & INSPECTIONS:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

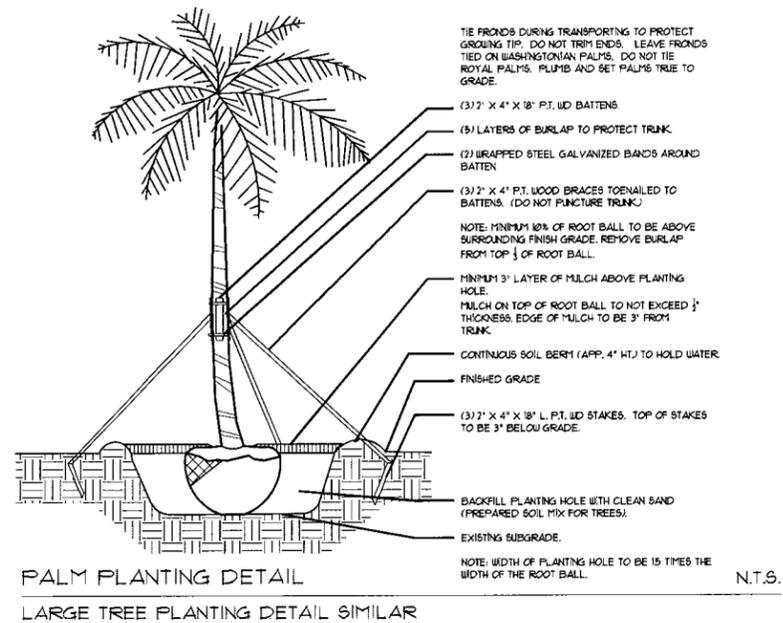
- A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- C. THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- D. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO NEIGHBORING PROPERTIES. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENTATION BASINS SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENTATION BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
- G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.
- H. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
- I. A QUALIFIED INSPECTOR SHALL INSPECT - ALL POINTS OF DISCHARGE TO SURFACE WATERS OF THE STATE OR MS4, DISTURBED AREAS THAT HAVE NOT BEEN FULLY STABILIZED, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROLS AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
- J. INSPECTIONS SHALL OCCUR AT A MINIMUM OF ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 IN. OR GREATER.
- K. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
- L. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- M. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF:

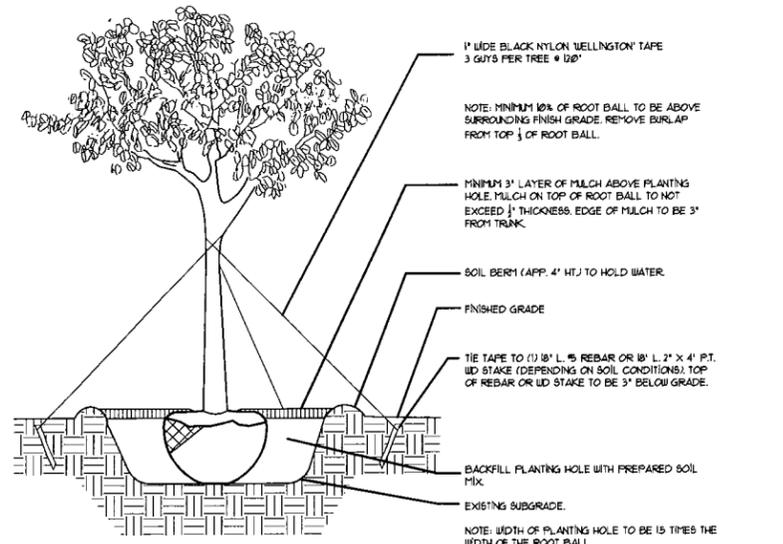
- A. GOOD HOUSEKEEPING
 - 1. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
 - 2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
 - 3. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
 - 4. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
 - 5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
 - 6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- B. HAZARDOUS PRODUCTS
 - 1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
 - 2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL STATE REGULATIONS.
- C. PRODUCT SPECIFIC PRACTICES
 - 1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON-SITE.
 - 2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - 3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
 - 4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

LICENSED PROFESSIONAL		ERIK J. WILCZEK		FL LICENSE NUMBER 56216	
PROJECT #	DATE	SCALE	AS NOTED	DESIGNED BY	TZ
019-02	04-15-2016				
				DRAWN BY	TZ
				CHECKED BY	EW
					NO.
					REVISIONS
					DATE
					BY
KEEEN Engineering Inc. 7280 W PALMETTO PARK RD., SUITE 302, BOCA RATON, FL 33433 PHONE: 561-325-6700 CA#31195					
JEFF'S EXPRESS 1060 E COMMERCIAL BLVD OAKLAND PARK					
BROWARD COUNTY, FL					
SWPP NOTES					
SHEET NUMBER C-501					



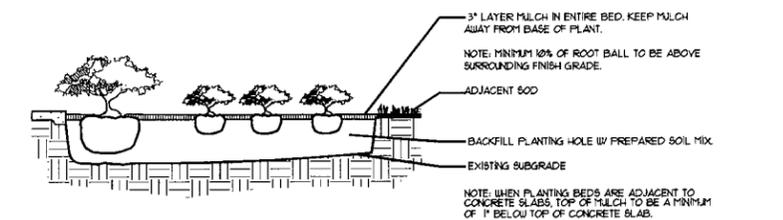
PALM PLANTING DETAIL
LARGE TREE PLANTING DETAIL SIMILAR

N.T.S.



TREE PLANTING DETAIL
TREES WITH 3\"/>

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.

PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS PARTS I AND II, 2ND EDITION, FEBRUARY 1988, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3\"/>

PLANTLIST

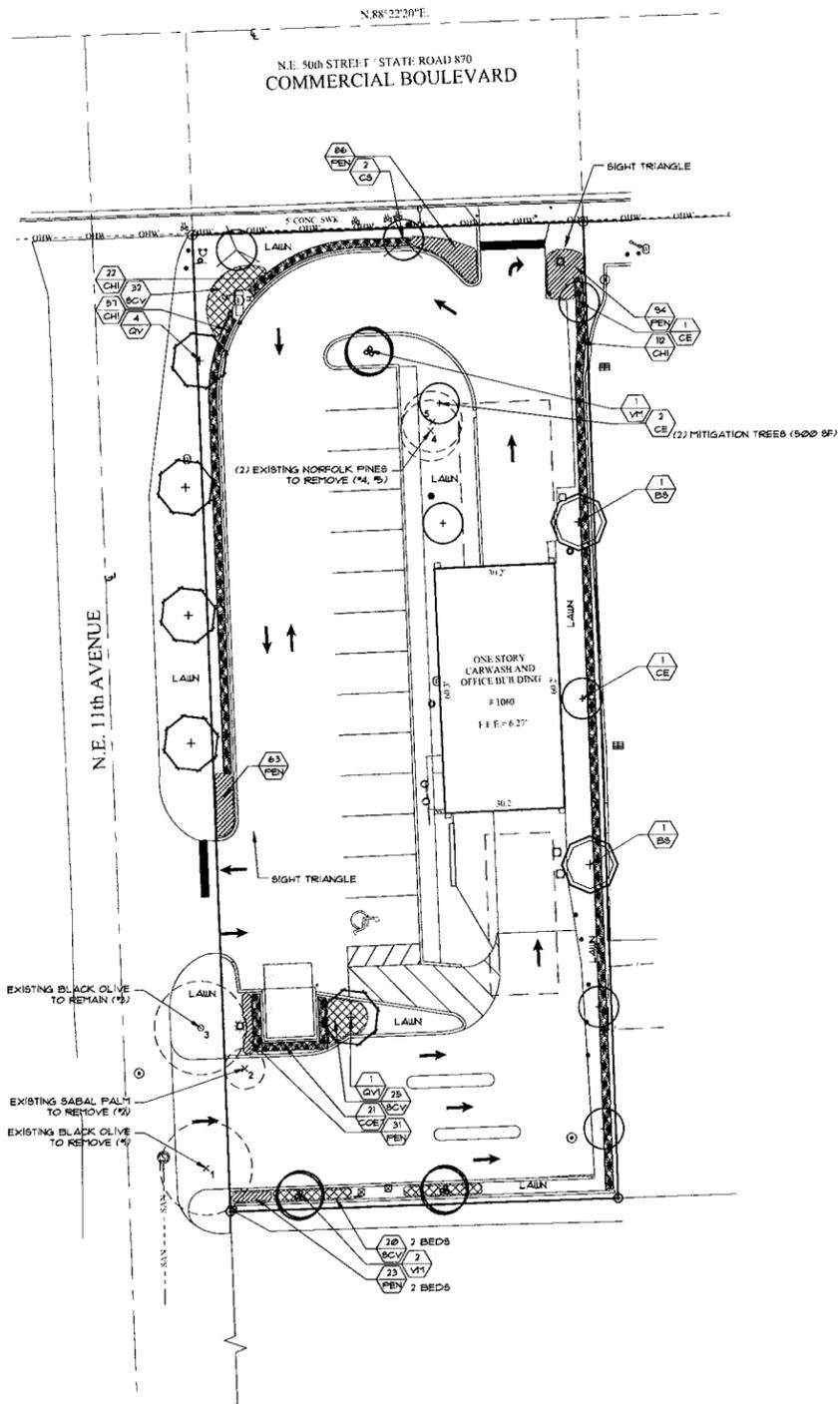
TREES & PALMS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
2	BS	Bursera simaruba	Gumbo Limbo	14' ht
6	CE	Conocarpus erectus	Green Buttonwood	10' ht
2	CS	Cordia sebestena	Orange Geiger	12' ht, 5' ct
4	QV	Quercus virginiana	Live Oak Tree	10' ht
1	QV1	Quercus virginiana	Live Oak Tree	16' ht, 5' ct
3	VM	Veitchia montgomeryana	Montgomery Palm	16' oa ht, triple

SHRUBS & GROUNDCOVERS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
191	CHI	Chrysobalanus icaco	Cocoplum	3 gal, 24\"/>

Tree Disposition								
No	Botanical Name	Common Name	HT (ft)	SPR (ft)	DBH (in)	Disposition	Condition	Comments
1	Bucida buceras	Black Olive	28	23	12	Remove	Good	In way of construction
2	Sabal palmetto	Sabal Palm	16	10	11	Remove	Good	In way of construction
3	Bucida buceras	Black Olive	28	24	12	Remain	Good	
4	Arucaria heterophylla	Norfolk Pine	25	15	6	Remove	Good	Invasive
5	Arucaria heterophylla	Norfolk Pine	23	15	8	Remove	Good	Invasive

LANDSCAPE REQUIREMENTS
PLANTING DATA TABLE

Site Data			
Category	Code Requirements	Required	Provided
Total Site Area		.53 AC / 22,294 sf	
Street Tree - 262' lf	1 tree / 40' lf	7	7
Perimeter - 337' lf	1 tree / 40' lf	8	8
Parking	1 tree / 10 spaces	2	2
	Trees at 10' ht - 60%	10	10
	Trees at 12' ht - 20%	4	4
	Trees at 14' ht - 10%	2	2
	Trees at 16' ht - 10%	1	1



REVISIONS	BY

JILL B. COHEN RL#6-20

LANDSCAPE PLAN

JEFF'S EXPRESS
 1060 E COMMERCIAL BLVD
 OAKLAND PARK, FL 33334

 DIXIE LANDSCAPE	12950 Northwest 113 Ct. Miami, FL 33178 P. 305-884-5700 F. 305-884-8843
	<small>This drawing is the property of Dixie Landscape Co., Inc. and is not to be reproduced or used in any form without the express written permission of the owner.</small>

Date 5/4/16
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LA-1
 Of 2 Sheets

Irrigation Notes

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES.

FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. AS REQUIRED TO INSURE 100% COVERAGE AND 50% OVERLAP.

LOW ANGLE TRAJECTORY NOZZLES SHALL BE USED WHEN ALL SPRINKLERS AND ROTORS ARE LOCATED WITHIN 100' OF POOLS OR PUBLIC GATHERING AREAS.

PIPE

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATERALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHEREVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS.

PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

PIPES 4" AND UNDER TO BE SOLVENT WELD. LARGER PIPES TO BE GASKETED 'O' RING PIPES AND USE THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS AT TURNING LOCATIONS.

*SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND
*INSTALL RAIN SENSOR AS PER LOCAL CODE

PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3' HORIZONTAL DISTANCE SEPERATION FROM OTHER PIPING OR UTILILITY SERVICES. AN 18" VERTICAL SEPERATION SHALL BE MAINTAINED WHEN APPLICABLE.

AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRES

LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVEING IS REQUIRED. ALL SPLICES SHALL BE ENCLOSED WITHIN A VALVE/SPLICE BOX.

WIRE SIZED AND COLORED AS FOLLOWS:

- #12 WHITE FOR COMMON
- #12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 HOT WIRES)
- #14 RED HOT WIRES
- #14 SPARE YELLOW HOT WIRE (1 SPARES NEEDED PER 10 HOT WIRES, 3 SPARE MINIMUM)

WHEN WIRE RUNS EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOT/SPARE WIRES.

ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING

TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

MISC.

PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER LATEST EDITION OF THE FLORIDA BUILDING CODE, APPENDIX F., AND ALL PERTINENT LOCAL CODES.

SPRAY HEADS INSTALLED IN SHRUB AREAS TO BE 12 INCH POP-UPS OR INSTALLED ON RISERS.

DESIGN

THIS DESIGN IS DIAGRAMATIC. ALL IRRIGATION EQUIPMENT SUCH AS PIPES, VALVES, , ETC., SHOWN WITHIN PVIOUS AREAS ARE FOR DESIGN CLARIFICATION ONLY. THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION EQUIPMENT IN PLANTING AREAS WHEREVER POSSIBLE.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, UTILITIES AND EXISTING IRRIGATION EQUIPMENT. THE IRRIGATION CONTRACTOR IS RESPONSIBLE SHALL REPAIR AND/OR REPLACE ANY DAMAGE CREATED BY THEIR WORK. THEY SHALL COORDINATE HIS WORK WITH OTHER CONTRACTOR OR MUNICIPAL AUTHORITIES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH WALLS AND FLOORS, ETC.

INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS FOR IRRIGATION EQUIPMENT TO BE APPROVED BY THE IRRIGATION DESIGNER. EQUIPMENT CHANGES TO INCLUDE BUT NOT LIMITED TO PUMP, CONTROLLER, SPRAY HEADS, ROTORS, AND VALVES.

DO NOT INSTALL IRRIGATION EQUIPMENT AS SHOWN ON THE DRAWINGS WHEN FIELD CONDITIONS DIFFER. OBSTRUCTIONS OR DIFFERENCES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR TO ASSUME FULL RESPONSIBILITY.

EQUIPMENT TABLE

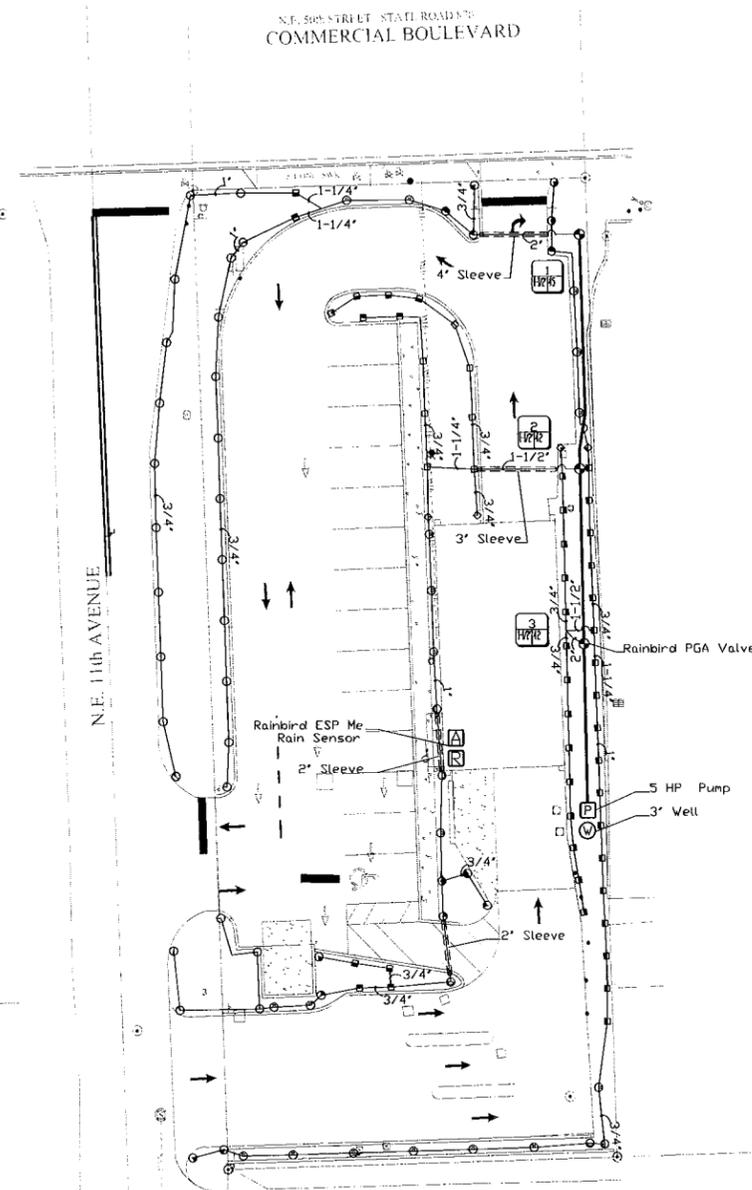
Controllers	
Symbol	Description
[A]	Rainbird ESP LX-Me (4 stations)
[R]	Rain Sensor

Irrigation Heads	
Symbol	Description
[S]	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 90°
[R]	RAINBIRD 1800 SERIES 8 Series 6" above finish grade trajectory 5 deg 180°
[C]	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 90°
[D]	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 120°
[E]	RAINBIRD 1800 SERIES 10 Series trajectory 15 deg 180°
[F]	RAINBIRD 1800 SERIES 12 Series trajectory 30 deg 90°
[G]	RAINBIRD 1800 SERIES 12 Series trajectory 30 deg 180°
[H]	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 90°
[I]	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 120°
[J]	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 180°
[K]	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg EST*
[L]	RAINBIRD 1800 SERIES 15 Strip Series trajectory 30 deg SST*

Pipe	
Symbol	Description
[---]	Class 160 PVC (Lateral)
[---]	SCH 40 PVC (Mainline)
[---]	SCH 40 PVC (Sleeve)

Pumps	
Symbol	Description
[P]	5 HP Pump
[W]	3' Well

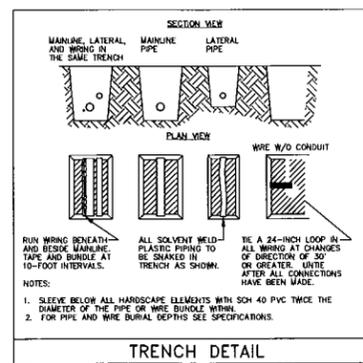
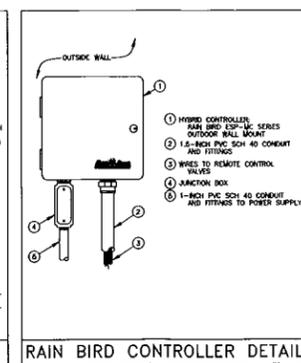
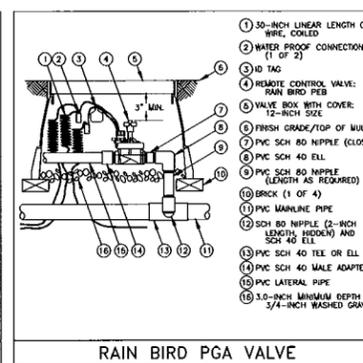
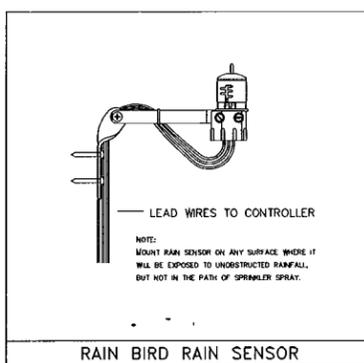
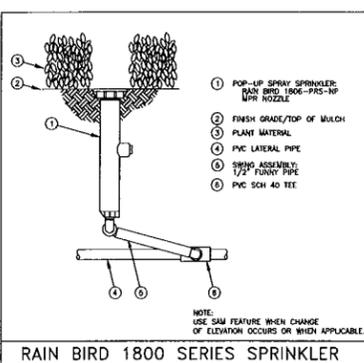
Valves	
Symbol	Description
[V]	RAINBIRD PGA Valve



IRRIGATION DETAIL

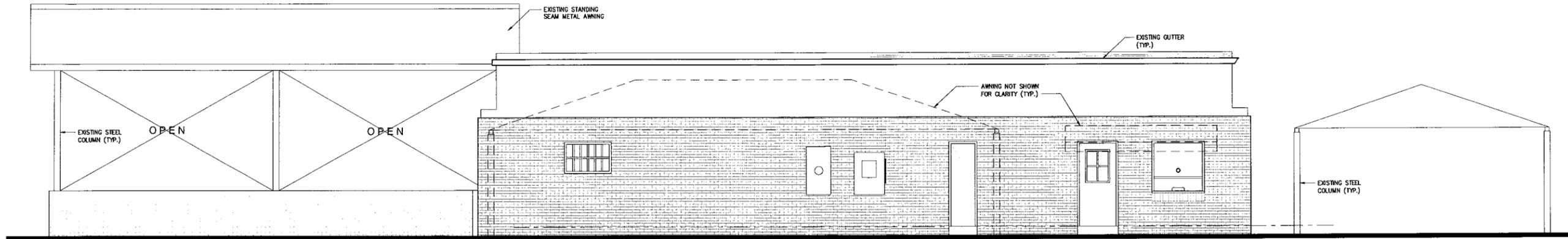
JEFF'S EXPRESS
1060 COMMERCIAL BLVD
OAKLAND PARK, FL 33334

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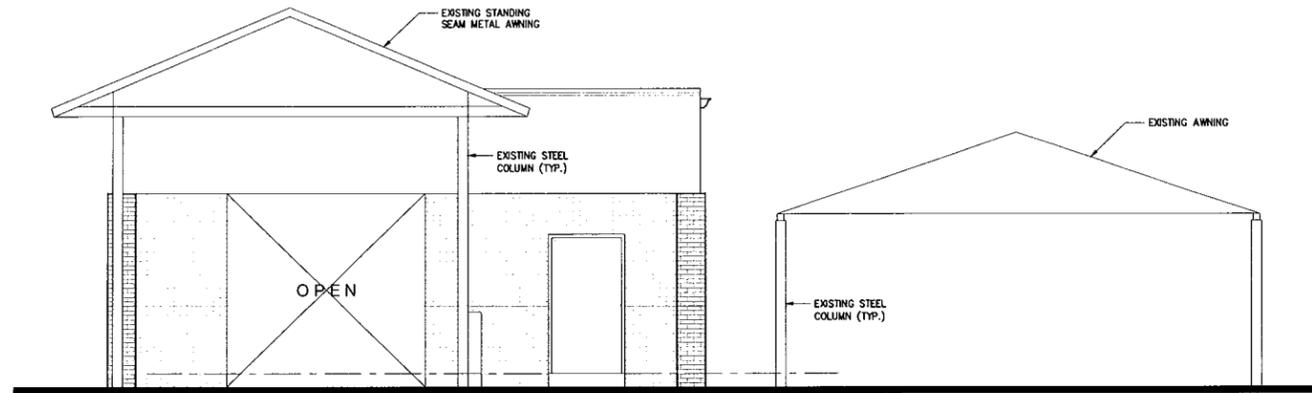
DIXIE LANDSCAPE
12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-584-4843

Date: 7/29/2015
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Of 1 Sheets



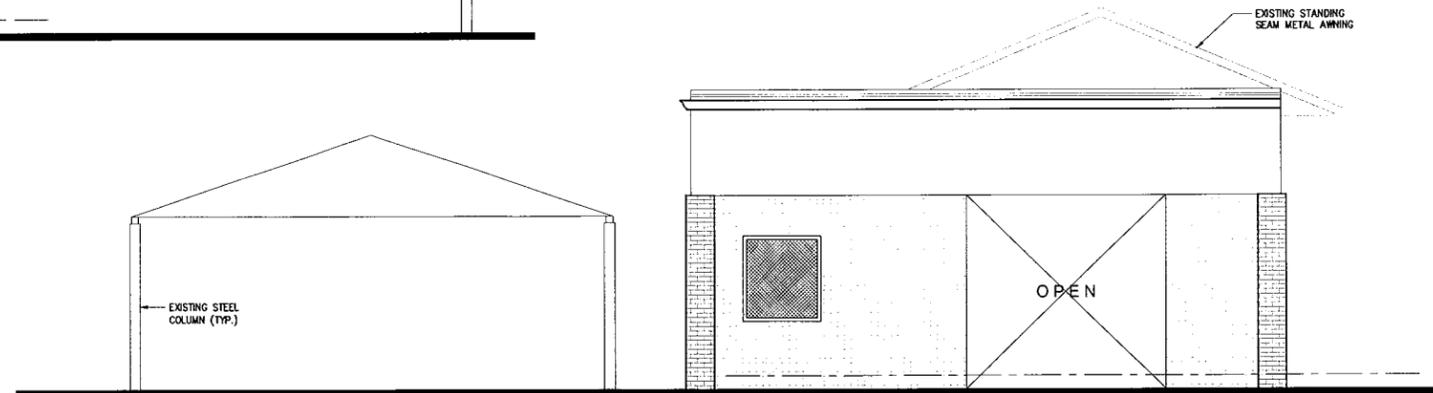
EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



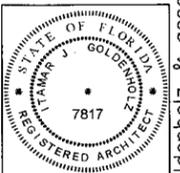
EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

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JEFF'S CAR WASH
 1060 EAST COMMERCIAL BOULEVARD
 OAKLAND PARK, FLORIDA

05-18-2016 DRC



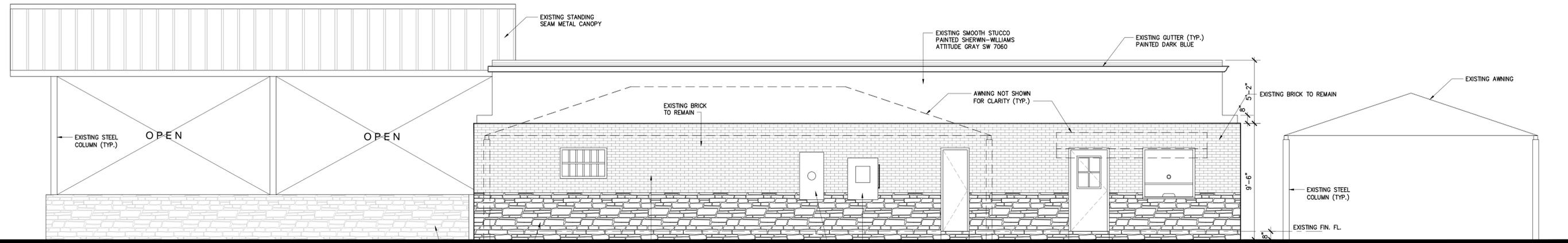
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 FL. LIC. AR0007817



A-2

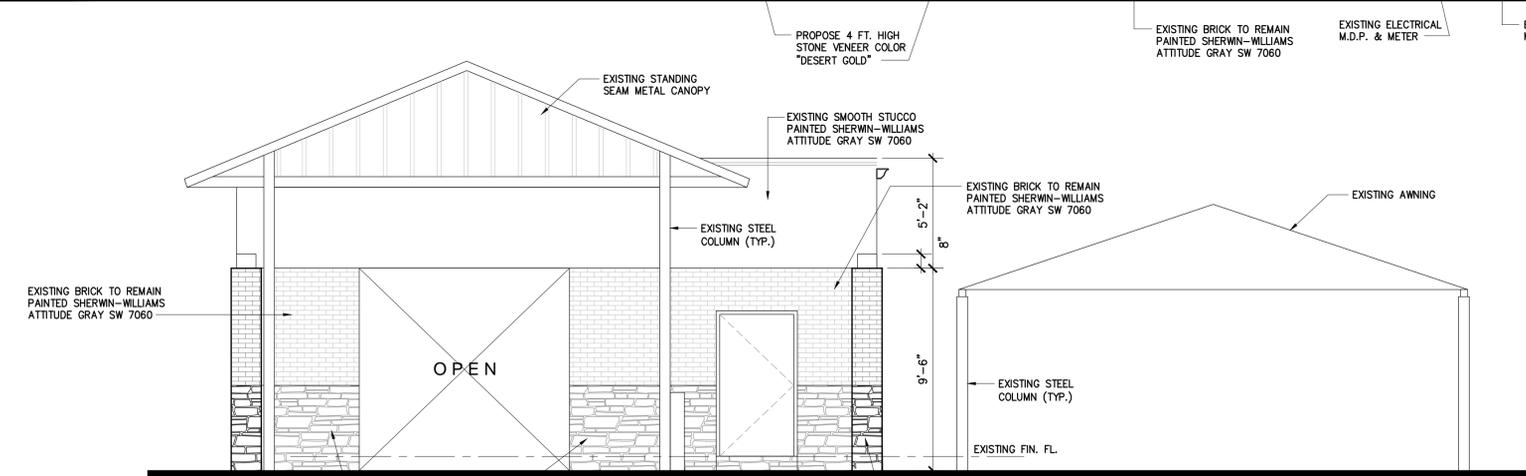
p.n. 16003

goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093



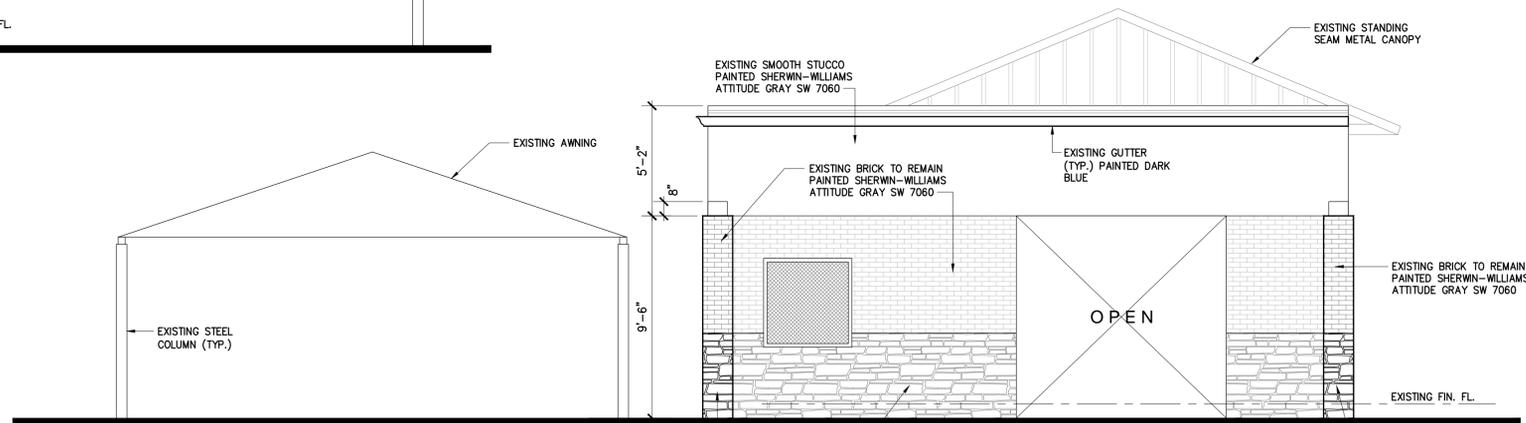
PROPOSE WEST ELEVATION

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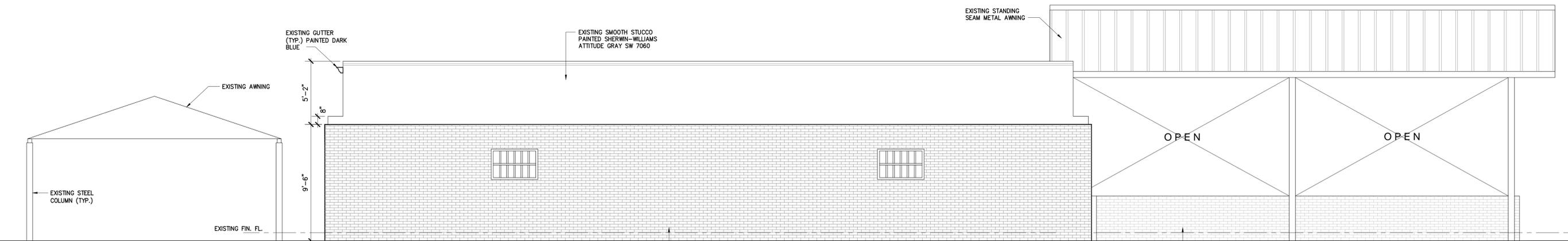
PROPOSE NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSE SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



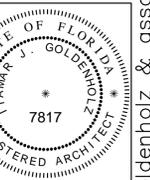
PROPOSE EAST ELEVATION

SCALE: 1/4" = 1'-0"

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 1060 EAST COMMERCIAL BOULEVARD
 OAKLAND PARK, FLORIDA

05-18-2016 DRC



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 FL. LIC. AR0007817



A-3

p.n. 16003

goldenholz & associates architects planners p.a. 3122 n. pine island road, sunrise, florida 33351 (954) 742-0797 fax (954) 742-3093

DEVELOPMENT PERMIT APPLICATION

The type of development permits for which this form is used and a fee schedule are listed on page 5. Application requirements and required separate attachments for each request type are on page 8. **Prior to the application submission contact the Planning and Zoning Division for an appointment at 954-630-4339.**

STAFF USE ONLY	
Date Submitted: <u>June 2, 2016</u>	Application No. <u>CD16-13Z</u>
Project Name: <u>Kozloski Triplex</u>	
Folio No(s).	

GENERAL DATA – Please type or print information - COMPLETE ALL SECTIONS	
Address of property: <u>1302 NE 32nd Street</u>	
Legal Description: (or attach description) <u>LOT, & W. 1/2 of LOT 2, Block 18</u>	
Gross Acres: <u>0.199</u>	Net Acres:
Title to this Property has been held since:	Existing Zoning: <u>RM-16</u>
Existing Use of Property (include no. and sq. ft. of existing structure(s): <u>VACANT LOT</u>	
Proposed Use of Property (include no. and sq. ft. of proposed structure(s): <u>1 Building 3units 2,708 S.F.</u>	
Section, Township, Range:	
Type of Development Permit(s) requested: <u>Site Development Plan Approval.</u>	

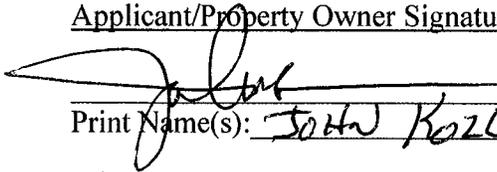
OWNER/APPLICANT INFORMATION		
(The undersigned has reviewed all instructions concerning the application and understands the application must be complete and accurate prior to staff review or Public Hearing(s). <u>Attach proof of ownership and owner's authorization for representative.</u>		
Name of Property Owners: <u>CHAD KOZLOSKI</u>		Title:
Address: <u>1676 N.E. 39 ST</u>		
City: <u>OAKLAND PARK</u>	State: <u>FL</u>	Zip Code: <u>33334</u>
Phone: <u>(954) 565-4293</u>	Fax:	
Signature: <u>Chad Kozloski</u>	Signature:	
Email Address: <u>Kozmas@triflex.com</u>	Email Address:	
Name of Applicant's Representative: <u>DAVID CEICHHOLTZ</u>		
Address: <u>7378 W. Atlantic Blvd # 142</u>		
City: <u>MARGATE</u>	State: <u>FLORIDA</u>	Zip Code: <u>33063</u>
Office Phone: <u>954 609-1578</u>	Cell Phone: <u>954 609-1578</u>	Fax:
Email Address: <u>David@holtzdesigngroup.com</u>		

Affidavit B

(B) The individual or executive officer of the homeowners association was unavailable or refused to sign this certification. I am attaching a statement as to the efforts to contact them and, in the event of unavailability, the reasons as to why they did not sign the certification:

Meeting Date: 1/19/16 Time: 4:30pm - 6:30pm
Location: 1302 NE 32nd Street OAKLAND PARK

Applicant/Property Owner Signature(s):

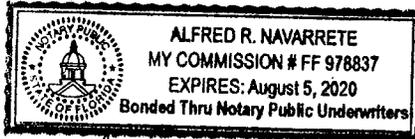

Print Name(s): John Rozloski _____

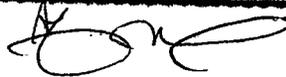
STATE OF FLORIDA)
COUNTY OF BROWARD)

I hereby certify that on this day before me, an officer duly qualified to take acknowledgements, personally appeared _____, to me known or who produced _____ as identification, who signed the foregoing instrument and he acknowledged the execution thereof to be his free act and deed for the uses and purposes therein mentioned and acknowledged before me that he executed same.

Witness my hand and official seal in County and State last aforesaid this
25 day of January, 2016

****Statement must be attached.**





Neighborhood Participation Meeting Sign-In Sheet

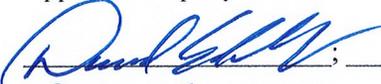
Proposed Project Name: NEW TRI-PLEX CHAD KOZLOSKI
Meeting Location & Date: 1302 N/E 32nd STREET 1/19/16 4:30pm
Project Description: TRI-PLEX PROJECT

To HOA Group/Individual: Signing this sign-in sheet does not imply approval or support of the project, just confirmation that a meeting was held pursuant to the ordinance.

Participant Signatures:

- | | |
|-----------|-----------|
| 1. _____ | 17. _____ |
| 2. _____ | 18. _____ |
| 3. _____ | 19. _____ |
| 4. _____ | 20. _____ |
| 5. _____ | 21. _____ |
| 6. _____ | 22. _____ |
| 7. _____ | 23. _____ |
| 8. _____ | 24. _____ |
| 9. _____ | 25. _____ |
| 10. _____ | 26. _____ |
| 11. _____ | 27. _____ |
| 12. _____ | 28. _____ |
| 13. _____ | 29. _____ |
| 14. _____ | 30. _____ |
| 15. _____ | 31. _____ |
| 16. _____ | 32. _____ |

Applicant/Property Owner Attendee or Representative Signature(s) (print names below):

 _____ ; _____ ; _____
DAVID EICHHOLTZ

THIS PROPOSED DEVELOPMENT IS NOT ENDORSED BY THE CITY OF OAKLAND PARK AND IF SUBMITTED WILL BE REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE CODES AND THE COMPREHENSIVE PLAN.

David Eichholtz

From: David Eichholtz <David@holtzdesigngroup.com>
Sent: Wednesday, December 09, 2015 11:01 PM
To: rvrshore@bellsouth.net
Cc: David Eichholtz
Subject: New Tri-plex development

To whom it my concern:

My name is David Eichholtz, from Holtz Design Group. I represent Chad Kozloski who is currently proposing a Tri-plex development in the City of Oakland Park.

This new development is located @ 1302 N.E. 32nd street, in the zoning district of RM-16. I would be pleased to meet with your board and or community to present this project for presentation. Please let me know if any times are good for you or if you have an upcoming meeting that I could attend. I am more than happy to work with your schedule and appreciate any time you can devote. You can contact me @ the info. Below.

David Eichholtz
Cell: 954 609 1578
Email: David@holtzdesigngroup.com

Thanks

David

David Eichholtz

From: David Eichholtz <David@holtzdesigngroup.com>
Sent: Wednesday, December 09, 2015 11:03 PM
To: rrflick@yahoo.com
Cc: David Eichholtz
Subject: Proposed Tri-plex development

Mr. Frick:

My name is David Eichholtz, from Holtz Design Group. I represent Chad Kozloski who is currently proposing a Tri-plex development in the City of Oakland Park.

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David Eichholtz
Cell: 954 609 1578
Email: David@holtzdesigngroup.com

Thanks

David

David Eichholtz

From: David Eichholtz <David@holtzdesigngroup.com>
Sent: Friday, December 18, 2015 9:46 AM
To: ttella27@gmail.com
Cc: David Eichholtz
Subject: Tri Plex project in Oakland Park

Mr. Tony:

My name is David Eichholtz, from Holtz Design Group. I represent Chad Kozloski who is currently proposing a Tri-plex development in the City of Oakland Park.

This new development is located @ 1302 N.E. 32nd street, in the zoning district of RM-16. I would be pleased to meet with your board and or community to present this project for presentation. Please let me know if any times are good for you or if you have an upcoming meeting that I could attend. I am more than happy to work with your schedule and appreciate any time you can devote. You can contact me @ the info. Below.

David Eichholtz
Cell: 954 609 1578
Email: David@holtzdesigngroup.com

Thanks

David

David Eichholtz

From: David Eichholtz <David@holtzdesigngroup.com>
Sent: Wednesday, January 13, 2016 5:19 PM
To: ttella27@gmail.com
Cc: David Eichholtz
Subject: New Tri plex development

Mr. Tony:

My name is David Eichholtz, from Holtz Design Group. I represent Chad Kozloski who is currently proposing a Tri-plex development in the City of Oakland Park.

This new development is located @ 1302 N.E. 32nd street, in the zoning district of RM-16. I will be at the above mentioned address on Tuesday 1-19-16 from 4:30pm to 6:30pm to present the project for presentation. Please stop by if you would like to see the proposed project or have any questions. You can contact me @ the info below if you have any questions.

David Eichholtz
Cell: 954 609 1578
Email: David@holtzdesigngroup.com

Thanks

David

David Eichholtz

From: David Eichholtz <David@holtzdesigngroup.com>
Sent: Wednesday, January 13, 2016 5:19 PM
To: rrfrick@yahoo.com
Cc: David Eichholtz
Subject: New Tri Plex development

Mr. Frick:

My name is David Eichholtz, from Holtz Design Group. I represent Chad Kozloski who is currently proposing a Tri-plex development in the City of Oakland Park.

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David Eichholtz
Cell: 954 609 1578
Email: David@holtzdesigngroup.com

Thanks

David

David Eichholtz

From: David Eichholtz <David@holtzdesigngroup.com>
Sent: Wednesday, January 13, 2016 5:20 PM
To: rvrshore@bellsouth.net
Cc: David Eichholtz
Subject: New Tri Plex development

To whom it may concern:

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David Eichholtz
Cell: 954 609 1578
Email: David@holtzdesigngroup.com

Thanks

David



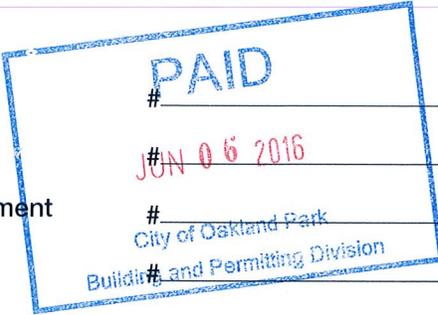
**CITY OF OAKLAND PARK
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(954) 561-6253**

CUSTOMER RECEIPT

N^o 1215

NAME: Property of BK Investments LLC DATE: 6/6/2016
 ADDRESS: _____

CASHIER KEY	DESCRIPTION OF FEE	CASE NUMBER	AMOUNT
043	Rezoning	# _____	\$ _____
043	Conditional Use	# _____	\$ _____
043	Use Approval	# _____	\$ _____
043	Reserve Units/Flex Acres	# _____	\$ _____
043	Planned Development (PUD & PCC)	# _____	\$ _____
043	Comprehensive/Land Use Plan Amendment	# _____	\$ _____
043	Subdivision/Resubdivision	# _____	\$ _____
043	Abandonment of Public Way	# _____	\$ _____
043	Unlisted Use or Text Amendment	# _____	\$ _____
043	Voluntary Annexation	# _____	\$ _____
022	Public Hearing	# _____	\$ _____
024	Site Plan Review	# _____	\$ <u>780.00</u>
177	Concurrency Review	# _____	\$ _____
		SUBTOTAL:	\$ _____
025	Training and Certification Fee	<u>check #</u>	\$ <u>78.00</u>
026	Publications	<u>1964</u>	_____
026	Photo-Microfilm Copies		_____
026	Miscellaneous: _____		_____
		TOTAL CHARGES:	\$ <u>858.00</u>



Planning: [Signature] Cashier: _____

PHONE (954) 943-1890
FAX (954) 783-4911

FRED CONROD

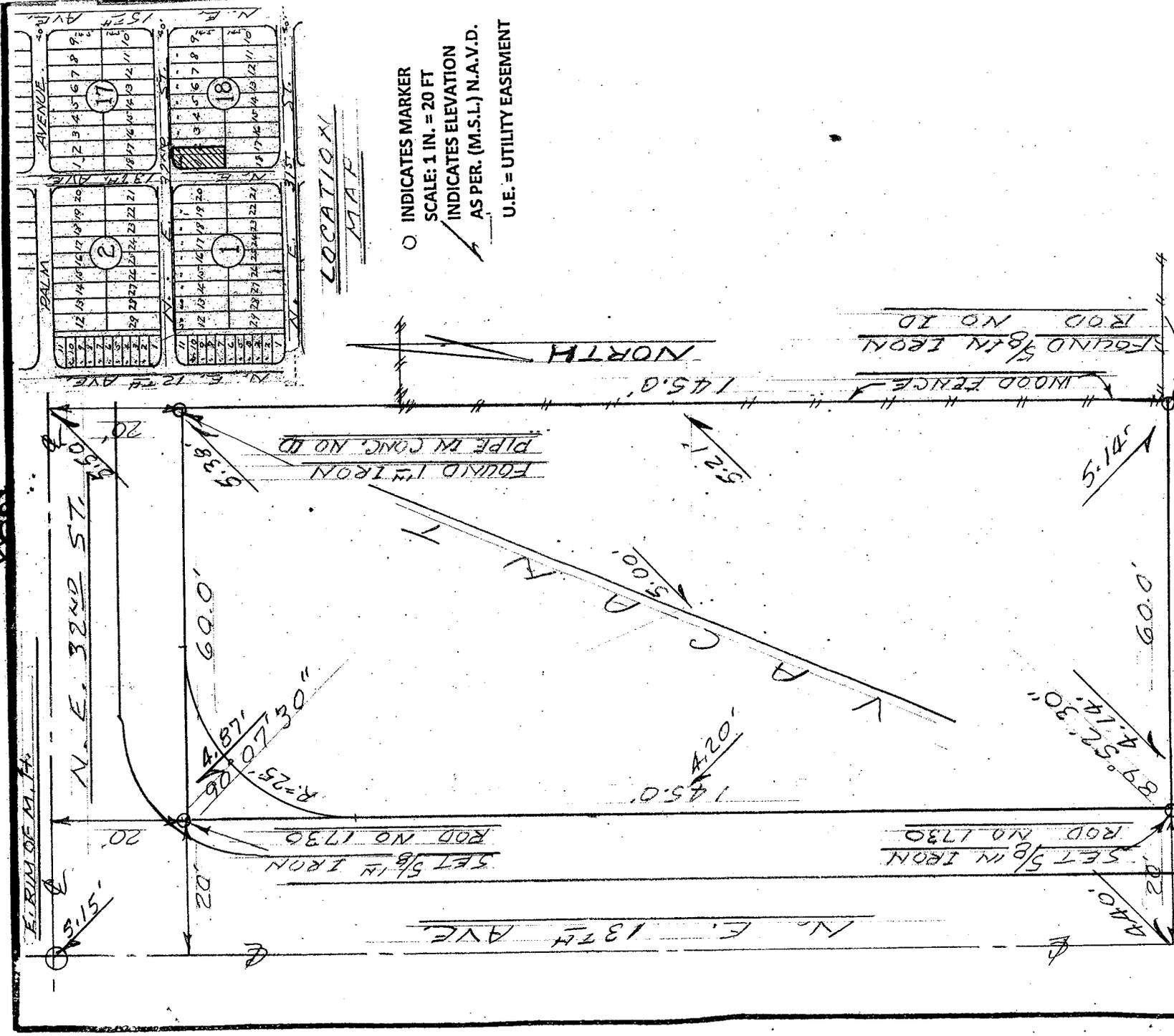
LOTS-RECREATION-SUBDIVISIONS
FLOOD INSURANCE SURVEYS



1250 EAST SAMPLE ROAD #106
POMPANO BEACH, FLORIDA 33064

LAND SURVEYORS

CONST. SURVEYS-CONDO DOCUMENTS
MORTGAGE & TITLE SURVEYS



LOCATION
MAP

- INDICATES MARKER
- SCALE: 1 IN. = 20 FT
- ⚡ INDICATES ELEVATION AS PER. (M.S.L.) N.A.V.D.
- U.E. = UTILITY EASEMENT

I HEREBY CERTIFY THAT THIS SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION, I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA AS ESTABLISHED BY THE FLORIDA

BOUNDARY SURVEY LEGAL DESCRIPTION
LOT 1, AND THE WEST ONE-HALF OF LOT 2,
BLOCK 18, OF OAKLAND PARK FIRST ADDITION
ACCORDING TO THE PLAT THEREOF, AS

NEW TRI-PLEX
FOR:

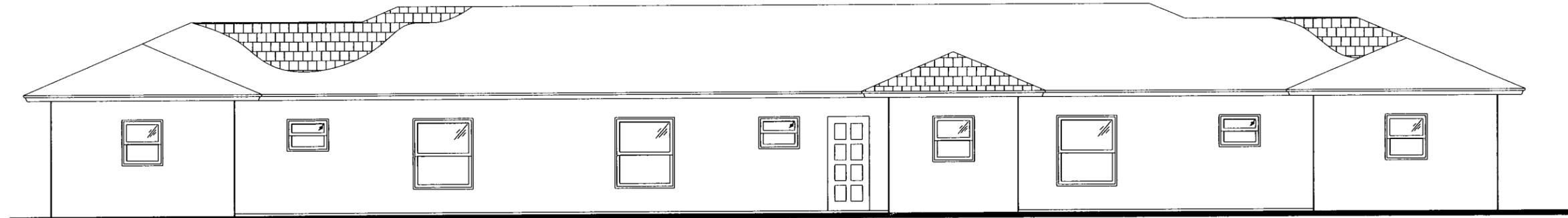
KOZLOSKI

ADDRESS:

1302 N.E. 32nd Street
Oakland Park, Florida



LOCATION MAP:



SHEET INDEX:

CONSTRUCTION PLANS:

- CVR-1 COVER PAGE
- SP-1 SITE PLAN
- LA-1 LANDSCAPING
- A-1 FLOOR PLAN
- A-2 ELEVATIONS

NOTICE

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HOLTZ
DESIGN GROUP
DESIGN & CONSTRUCTION
4631 N.W. 31st Avenue # 108
Fort Lauderdale, FL 33309
(O) 954-809-1578
Draw@holtzdesigngroup.com

ARCHITECTOLOGY L.L.C.
DESIGN - ARCHITECTURE - INTERIORS
THIERRY-MICHEL KAWCZYNSKI - ARCHITECT, AIA
www.architecture.com
3304 Southeast Fifth Street
Pompano Beach, Florida 33062-5510
+1.954.804.8849 info@architecture.com



Project Name:
NEW TRI-PLEX
FOR:
CHAD KOZLOSKI
1302 N.E. 32nd Street
Oakland Park, Florida

Drawn By: D.C.E.
Approved By: THIERRY-MICHEL KAWCZYNSKI
Issue Date: 12-30-15
Scale: 1/4" = 1'-0"
Commission No. 15-059
Drawing
CVR-1
Sheet of

N.E. 32nd ST.

20' PAVEMENT 40' R/W

LANDSCAPE PLAN



GRAPHIC SCALE

NOTICE

ALL CONTRACTORS SHALL REVIEW ALL CONDITIONS AND SPECIFICATIONS OF THIS PLAN AND THE GENERAL CONTRACT AND SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT LAUDERDALE.

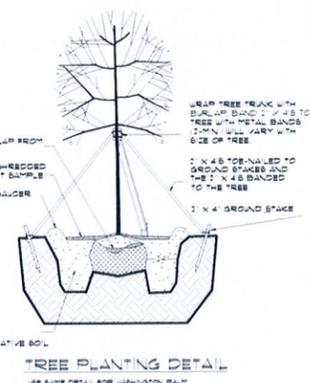
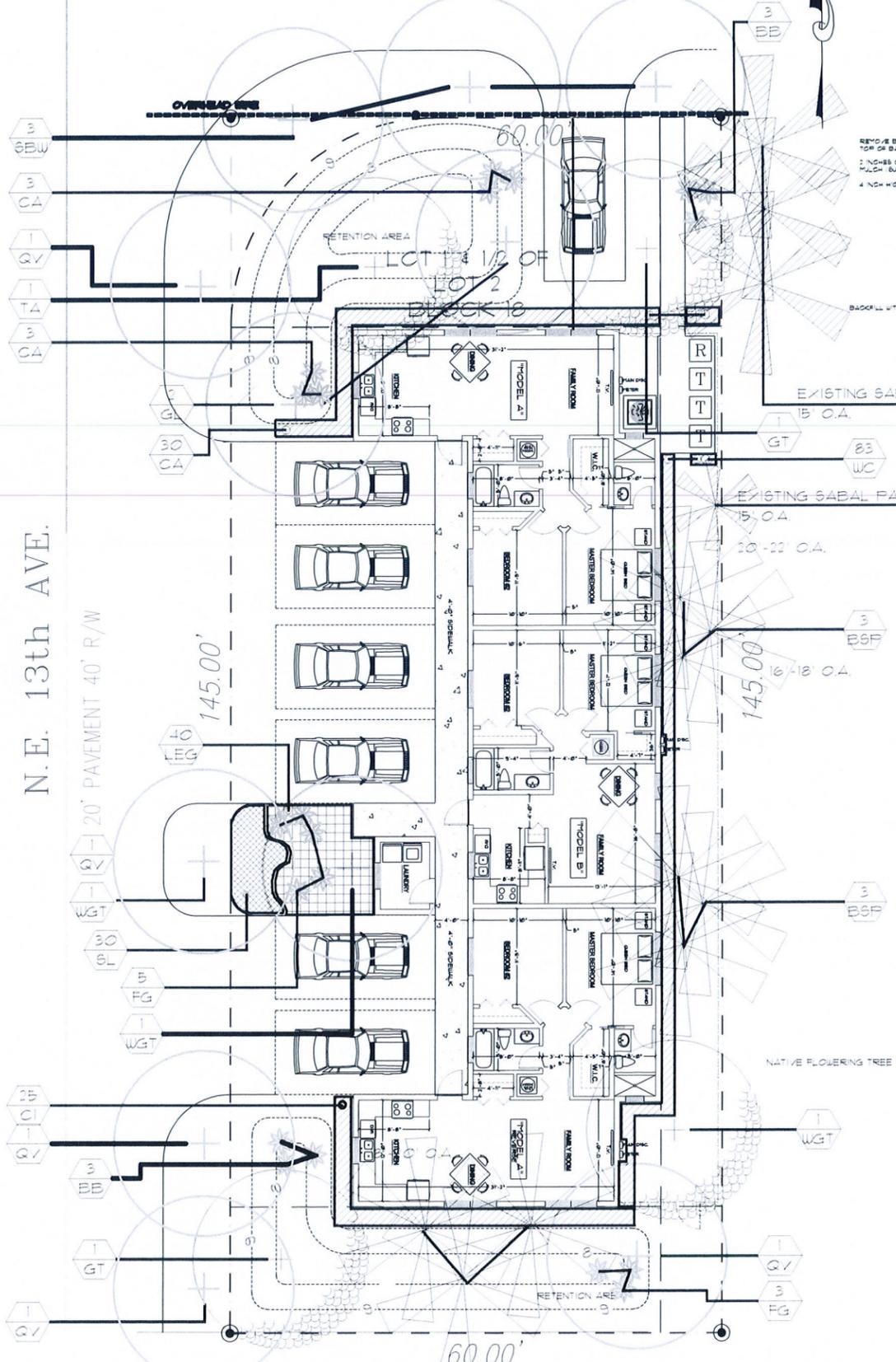


DOUGLAS M. RUTH ASSOCIATES
Landscape Architects
Land Planners
1212 N.E. 8th Avenue
Fort Lauderdale, FL 33304
Phone 954-462-6571



Project Name: NEW TRI-PLEX
FOR:
CHAD KOZLOSKI
1302 N.E. 32nd Street
Oakland Park, Florida

Drawn By: D.C.E.
Approved By: THIERRY-MICHEL KAWCZYNSKI
Issue Date: 12-30-15
Scale: 1/8" = 1'-0"
Commission No. 15-059
Drawing LA-1
Sheet of



PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE & DESCRIPTION	NATIVE OR NOT NATIVE
TREES					
2	GL	Bursera simaruba	Gumbo Limbo	14' - 16' X 7' - 8' Spr. Single Straight Trk 4 Cal.	NATIVE
2	GT	Cordia sebestena	Geiger Tree	14' - 16' X 7' - 8' Spr. Single Straight Trk 4 Cal.	NATIVE
3	BBW	Coccoloba erecta serotina	Silver Buttonwood	12' - 14' X 6' - 8' Spr. Single Straight Trk 4 Cal.	NATIVE
4	WGT	Cordia alliodora	White Geiger Tree	12' - 14' X 6' - 8' Spr. Single Straight Trk 4 Cal.	ADAPTED
1	TA	Tapecaea argentea	Yellow Tapecaea	14' - 16' X 7' - 8' Spr. Single Straight Trk 4 Cal.	NATIVE
5	QV	Quercus virginiana	Live Oak	16' - 18' X 8' - 10' SPR. Staggered clump	NATIVE
PALMS					
3	BSP	Sabal Palmatio (Booted)	Booted Sabal	16' - 18' CA rgt. staggered clump	NATIVE
3	BSP	Sabal Palmatio (Booted)	Booted Sabal	18' - 20' CA rgt. staggered clump	NATIVE
3	BSP	Sabal Palmatio (Booted)	Booted Sabal	20' - 22' CA rgt. staggered clump	NATIVE
SHRUBS AND GROUND COVERS					
30	CI	Chrysanthemum leucum	Coco Plum	24' X 24' 24' ON CENTER touching each other	NATIVE
6	CA	Crinum asiaticum	Crinum Lily	24' X 24' 30' on center	NATIVE
6	BB	Callicarpa americana	Beauty Berry	24' X 24' 30' on center	NATIVE
30	SL	Hymenocallis kosteriana	Spider Lily	24' X 24' 30' on center	NATIVE
40	LEG	Liriodendron evergreen giant	EG Liriodendron	12' X 12' 18' ON CENTER	ADAPTED
63	WC	Psychotria nervosa	Wilo Coffee	24' X 24' 24' ON CENTER touching each other	NATIVE
5	FG	Tripsacum floridanum	Panaxtonese Grass	24' X 24' 30' on center	NATIVE

ST. AUGUSTINE FLORATAM SOG FREE OF NOXIOUS WEED AND PEST AND DISEASES

REQUIRED TREES

PERIMETER	REQUIRED	PROVIDED
REAR (SOUTH) Street Trees	5' LANDSCAPE STRIP 60' @ 1:40' 100 = 1.5 = 2	14.5' STRIP AND 2 TREES
WEST (SIDE)	5' LANDSCAPE STRIP 145' @ 1:40' = 3.6 OR 4	15' STRIP AND 4 TREES
SIDE (EAST)	5' LANDSCAPE STRIP 145' @ 1:40' = 3.6 OR 4	8' STRIP AND 4 TREES
FRONT (NORTH) R.O.W. Trees	10' LANDSCAPE STRIP 60' @ 1:40' = 1.5 OR 2	25' STRIP AND 2 TREES
NORTH	RIGHT OF WAY TREES	
SIDE (WEST) R.O.W. Trees	10' LANDSCAPE STRIP 145' @ 1:40' = 3.6 OR 4	10' STRIP AND 4 TREES
WEST	RIGHT OF WAY TREES	
TOTAL PERIMETER	16 TREES	16 TREES
INTERIOR	1:10 SPACES 7/10 = 1 TREES	1
TOTAL	17 TREES	17

REQUIRED TREE SIZES

REQUIRED SIZES	REQUIRED	PROVIDED
16' - 18' X 8' SPR	10% OR 2 TREES	130' OR 3 TREES
14' - 16' X 7' - 8' SPR	10% OR 2 TREES	107' OR 2 TREES
12' - 14' X 6' - 8' SPR	20% OR 4 TREES	300' OR 4 TREES
10' - 12' X 6' - 8' SPR	67% OR 12 TREES	570' OR 13 TREES

- GENERAL NOTES**
1. ALL PLANT MATERIAL TO BE FL. GRADE NUMBER 1 OR BETTER AS PER FLA. GRADES AND STANDARDS EDITION 2001.
 2. ALL MATERIAL TO BE HANDLED AND PLANTED IN ACCORDANCE WITH STANDARD NURSERY PRACTICES.
 3. ALL PLANTING BEDS TO RECEIVE THREE INCHES (3") OF A NON CYRESS MULCH.
 4. ALL PLANTING AREAS TO BE IRRIGATED BY A SPRINKLER SPRINKLER SYSTEM WITH 90% OVERLAP, 100% COVERAGE AND INSTALLED BY A CERTIFIED IRRIGATION CONTRACTOR.
 5. A RAIN SENSING CUT OFF DEVICE SHALL BE INSTALLED IN SUCH A MANNER THAT THE LEAVES OVERHANGS OR BRANCHES DO NOT INTERFERE ETC.
 6. CARE IS TO BE EXERCISED AS TO NOT DAMAGE UNDER GROUND UTILITIES, TELEPHONE LINES, STORM SEWER ETC. SEE PROJECT ENGINEER OR OWNERS AGENT.
 7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADE TO WITHIN TWO INCHES (2") OF FINAL GRADE.
 8. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINAL GRADE.
 9. IN CASE OF DISCREPANCIES THE PLAN TAKES PRECEDENCE OVER THE PLANT LIST.
 10. PALMS MUST BE PLANTED AT LEAST 3 FEET FROM HARDSCAPE AND MIN. DISTANCE FROM BLDG. TYP. LENGTH OF SPECIES FROND.
 11. NO CYRESS OR RED MULCH SHALL BE USED AND MULCH SHALL BE KEPT A DISTANCE OF AT LEAST 6 INCHES FROM THE TRUNK OF TREE.
 12. INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE. ONE (1) COCONUT PALM TO BE REMOVED AS IT IS UNDER THE POWER LINE.
 13. ALL TREES TO BE A MIN. OF 15' FROM LIGHTPOLES.
 14. ALL GRADING AND MOUNDING SHALL EXHIBIT SMOOTH CONTOURS AND SHALL NOT DISTURB PLANNED DRAINAGE.
 15. ALL PLANTING AREAS SHOULD BE SODDED WITH ST. AUGUSTINE FLORATAM SOG INCLUDING SWALES UNLESS OTHERWISE NOTED.
 16. BEDS TO BE LAID OUT SO AS TO NOT CREATE MOWING OR MAINTENANCE PROBLEMS.
 17. ANY DEVIATION FROM THIS PLAN MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
 18. ALL ORNAMENTAL TREES SHALL HAVE A MIN. 2" CALIPER AT 6' OF CLEAR TRUNK.
 19. ALL SHADE TREES SHALL HAVE A MIN. 2" CALIPER AT 6' OF CLEAR TRUNK.
 20. ONLY FLA. POWER AND LIGHT APPROVED TREES WITHIN 30' OF POWER LINES.
 21. 30" X 24" MATERIAL TO BE USED AROUND ALL MECHANICAL EQUIPMENT. (NO NEW FIGUS MATERIAL TO BE USED ON THE PROJECT).
 22. ANY FREESTANDING MONUMENTS SIGNS WILL BE LANDSCAPED.
 23. ALL MEDIUM AND LARGE MATURING TREES MUST BE INSTALLED AT LEAST 4 FEET AWAY FROM ALL HARDSCAPE PARKING LOTS OR IN GROUND UTILITIES AND MIN. OF 10 FEET FROM ANY BUILDING.
 24. NO ROCKS, CONCRETE, ASPHALT OR DEBRIS SHALL BE USED AS BACK FILL AROUND ANY PLANT MATERIAL OR SOG.
 25. ALL PLANT MATERIAL SHALL BE WATERED IMMEDIATELY AFTER PLANTING.
 26. AT LEAST 50% OF THE TREES SHALL BE NATIVE AND XERISCAPE.
 27. SWALE BETWEEN SIDEWALK AND STREET TO BE DEPRESSURED SO AS TO FORM A WATER RETENTION AREA.

NOTICE

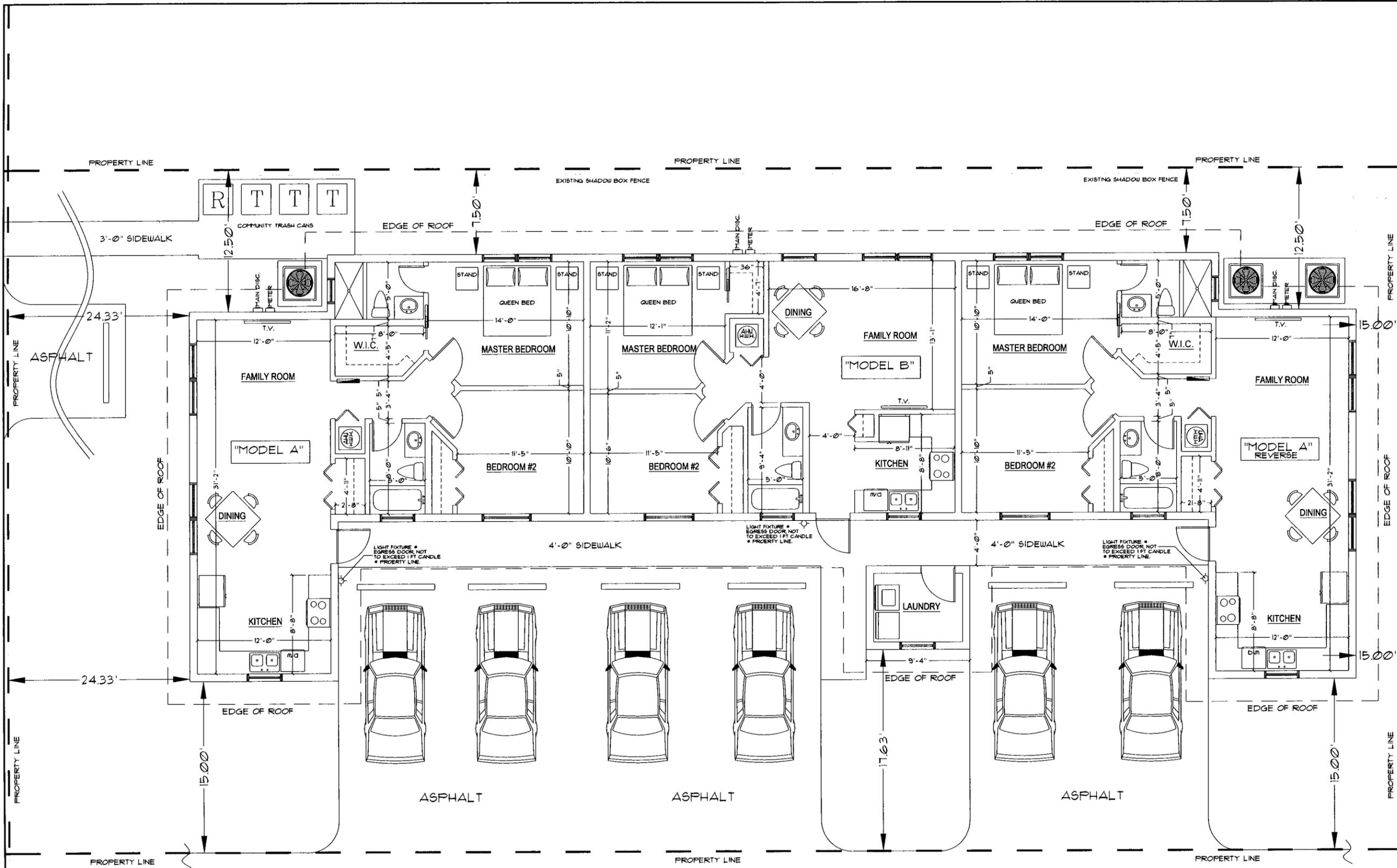
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DESIGN GROUP
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 (O) 954-808-1578
 Dave@holtzdesigngroup.com

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 www.architectology.com
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 Pompano Beach, Florida 33062-5510
 +1.954.804.8849 info@architectology.com



Project Name: **NEW TRI-FLEX**
 FOR: **CHAD KOZLOSKI**
 1302 NE. 32nd Street
 Oakland Park, Florida

Drawn By: D.C.E.
 Approved By: THIERRY-MICHEL KAWCZYNSKI
 Issue Date: 12-30-15
 Scale: 1/4" = 1'-0"
 Commission No: 15-059
 Drawing: **A-1**
 Sheet of



• AREA CALCULATION "MODEL A"

A/C AREA	=	964.71 SF.
TOTAL A/C AREA	=	964.71 SF.
PATIO	=	26.67 SF.
COVERED ENTRY	=	20.0 SF.
TOTAL AREA	=	1,011.38 SF.

• AREA CALCULATION "MODEL B"

A/C AREA	=	779.42 SF.
TOTAL A/C AREA	=	779.42 SF.
PATIO	=	26.67 SF.
COVERED ENTRY	=	20.0 SF.
TOTAL AREA	=	826.09 SF.

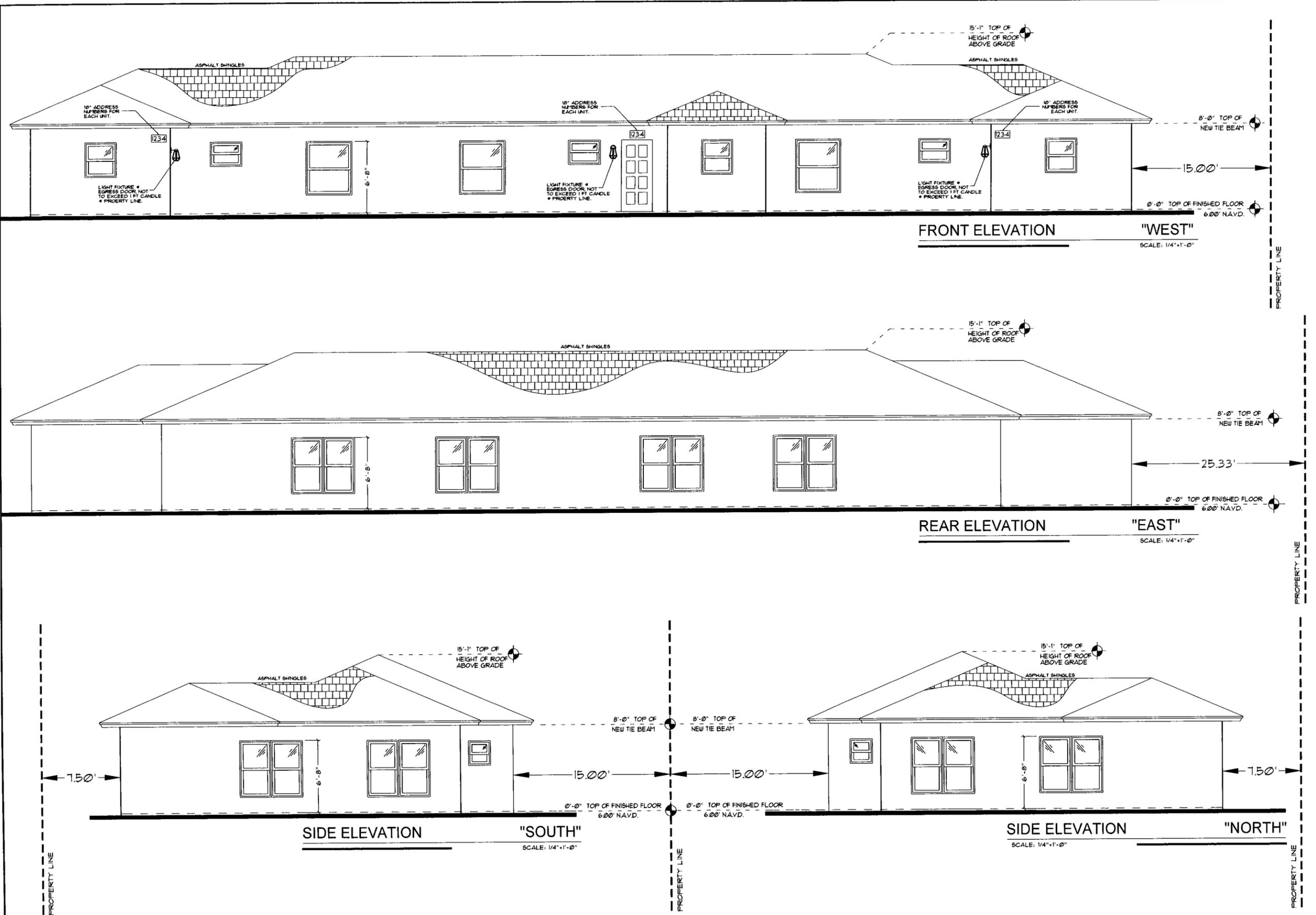
• AREA CALCULATION "MODEL A" REVERSE

A/C AREA	=	964.71 SF.
TOTAL A/C AREA	=	964.71 SF.
PATIO	=	26.67 SF.
COVERED ENTRY	=	20.0 SF.
TOTAL AREA	=	1,011.38 SF.

FLOOR PLAN

SCALE: 1/4"=1'-0"





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ADLITZ DESIGN GROUP
 DESIGN & DRAFTING
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 Fort Lauderdale, FL 33309
 (C) 954-609-1578
 David@adlitzdesigngroup.com

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Project Name: **NEW TRI-PLEX**
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 1302 N.E. 32nd Street
 Oakland Park, Florida

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